

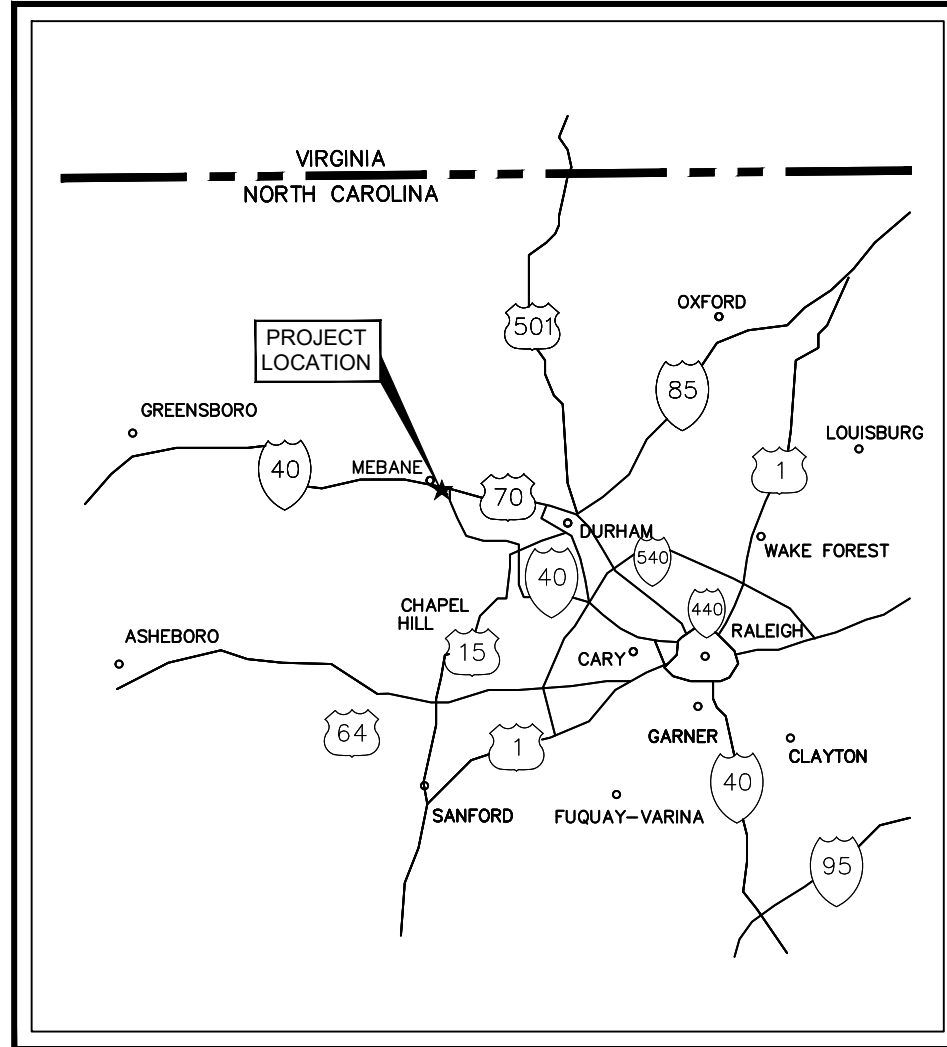
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yun, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C001 COVER SHEET November 01, 2023 04:02:10pm K:\VDR\_LDEV\013284018 BUCees Mebane\08\_CAD Flex\PlanSheets\C001 COVER SHEET.dwg

# SITE PLAN FOR BUC-EE'S MEBANE

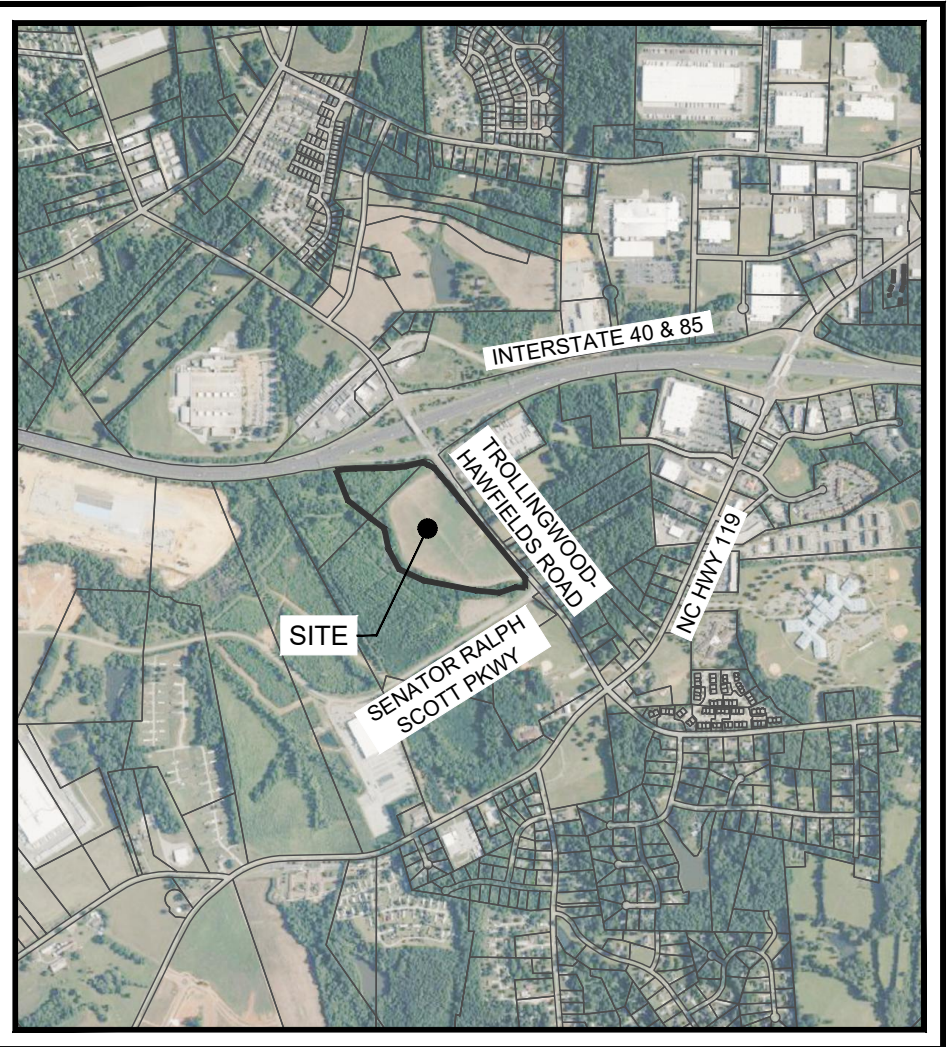
## 1425 TROLLINGWOOD-HAWFIELDS ROAD MEBANE, ALAMANCE COUNTY, NC

- CITY OF MEBANE GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS. CITY OF MEBANE STANDARD DETAILS AND CONSTRUCTION STANDARDS, STATE CONSTRUCTION STANDARDS, OSHA REGULATIONS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
  - A COPY OF THE CONSTRUCTION DRAWINGS BEARING THE APPROVAL STAMP FROM THE CITY OF MEBANE SHALL ALWAYS BE ON SITE AND AVAILABLE.
  - MATERIAL SUBMITTALS TO BE APPROVED BY THE CITY OF MEBANE PRIOR TO ORDERING MATERIAL.
  - MODIFICATION TO THE APPROVED DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER AND THE CITY OF MEBANE.
  - PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS TO COMPLETE THE CONSTRUCTION SHOULD BE ACQUIRED AND FOLLOWED.
  - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MEBANE, OWNER/REP, PLANNING, EROSION CONTROL, GEOTECHNICAL ENGINEER, ALL SUB-CONTRACTORS, AND ENGINEER/REP.
  - GEOTECHNICAL SPREADSHEET TO BE PROVIDED TO THE CITY PRIOR TO PRE-CONSTRUCTION MEETING FOR REVIEW. SPREADSHEET TO ACCOMPANY GEOTECHNICAL REPORTS.
  - ALL SOIL WITHIN THE RIGHT OF WAY AND PUBLIC EASEMENTS SHALL BE COMPACTED TO CITY OF MEBANE SPECIFICATIONS. CITY REPRESENTATIVE TO BE NOTIFIED 24 HOURS IN ADVANCE AND GIVEN THE OPPORTUNITY TO BE PRESENT DURING GEOTECH TESTING.
  - ALL UTILITY SEPARATIONS SHALL MEET THE REQUIREMENTS AS STATED IN THE CITY OF MEBANE CONSTRUCTION DOCUMENTS CHECKLIST. ALL UTILITY SEPARATIONS TO BE FIELD VERIFIED DURING INSTALLATION AND AS-INSTALLED SEPARATION LABELED ON AS-BUILT DRAWINGS. CONTRACTOR SHALL PROVIDE DESIGN ENGINEER VERIFICATION OF AS-INSTALLED SEPARATIONS TO BE INCLUDED ON AS-BUILT DRAWINGS SUBMITTED TO STATE.
  - ALL WATER MAIN TO INCLUDE TWO FORMS OF RESTRAINT (MEGA-LUGS AND BLOCKING) AND CONFORM TO THE DISTANCES STATED IN DETAIL W-26.
  - TESTING PROCEDURES PER CITY OF MEBANE STANDARDS AS FOLLOWS: WATER LINE - PRESSURE TEST, CHLORINATE, BACT, SANITARY SEWER - PRESSURE TEST, VACUUM TEST MANHOLES, MANDREL VIDEO, STORM SEWER - VIDEO, CONCRETE - CYLINDERS EVERY 30 YARDS, ROADWAY - DENSITY AND PROOF ROLL, ASPHALT - CORES FOR BINDER, NUCLEAR DENSITY GAUGE TESTS ON FINAL LIFT.
  - FOR ALL PROJECTS WHERE THE FINAL LIFT OF ASPHALT IS NOT ANTICIPATED PRIOR TO THE ONSET OF WINTER, ALL MANHOLES AND VALVE BOXES ARE TO BE ADJUSTED FLUSH WITH THE BINDER COURSE. THE FINAL ADJUSTMENT TO FINISH GRADE WILL NOT BE DONE UNTIL IMMEDIATELY PRIOR TO THE PLACEMENT OF THE FINAL LIFT OF SURFACE COURSE.
  - CLASS III RCP SHALL HAVE A MINIMUM OF 3" OF COVER WITHIN THE RIGHT OF WAY PER NCDOT REQUIREMENTS, WHERE 3" OF COVER IS NOT PROVIDED, CLASS IV RCP IS REQUIRED.
  - ALL DRAINAGE SWALES SHALL HAVE A MINIMUM OF 1% SLOPE.
  - ALL THIRD-PARTY UTILITIES TO ACQUIRE AN ENCROACHMENT AGREEMENT WITH THE CITY OF MEBANE PRIOR TO STARTING INSTALLATION.
  - BORROW PIT LOCATIONS TO BE SURVEYED FOR IN FIELD VERIFICATION AND BE IDENTIFIED ON THE PLAT.
  - UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS. UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC.
  - WHEN STAKING WATER LINE, CURB RADIUS POINTS SHOULD ALSO BE STAKED TO ENSURE VALVES ARE PLACED OUTSIDE OF CURB LINE AND HANDICAP RAMP TRUNCATED DOMES.
  - CONTRACTOR RESPONSIBLE FOR NOTIFYING THE CITY OF MEBANE AND THE DESIGN ENGINEER PRIOR TO TESTING WATER AND SEWER LINES TO COORDINATE SCHEDULING SINCE DESIGN ENGINEER WILL BE CERTIFYING AND MAY WANT TO WITNESS TESTING.
  - CONTRACTOR TO SCHEDULE PUNCH LIST WALK THROUGH AFTER BINDER LIFT OF ASPHALT HAS BEEN INSTALLED.

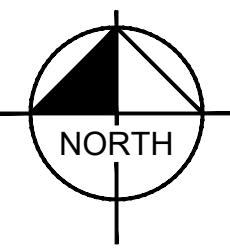
- GENERAL NOTES**
- PROPOSED BUC-EE'S SIGN HEIGHT WILL BE MORE THAN 80' AND LESS THAN 100'.
  - A SPECIAL USE PERMIT MUST BE APPROVED BY THE CITY COUNCIL BEFORE THE PROPOSED USE CAN BE ESTABLISHED.
  - PROPOSED BUC-EE'S BUILDING HEIGHT WILL BE NO TALLER THAN 40'.
  - PROPOSED BUC-EE'S CANOPY HEIGHT WILL BE NO TALLER THAN 30'.
  - A HIGH DENSITY STORMWATER PERMIT, NON-FEMA FLOOD STUDY, FEMA FLOODPLAIN DEVELOPMENT PERMIT AND BUFFER AUTHORIZATION SHALL BE PROVIDED PRIOR TO APPROVAL OF THE CONSTRUCTION DOCUMENTS.



PROJECT LOCATION  
NTS



VICINITY MAP  
1" = 2000'

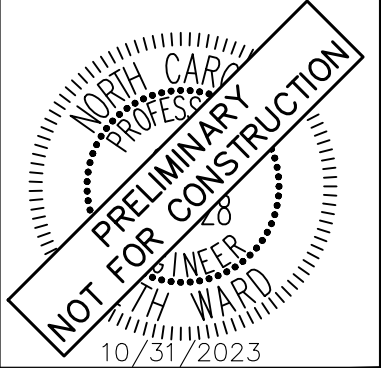


**PROJECT TEAM & CONSULTANTS**

<p><b>OWNER</b> CSMS MANAGEMENT, LLC 327 FM 2004 LAKE JACKSON, TX 77566 CONTACT: STAN BEARD PHONE: (346) 774-2242 EMAIL: STAN.BEARD@BUC-EES.COM</p>	<p><b>CIVIL ENGINEER</b> KIMLEY-HORN AND ASSOCIATES, INC. 300 MORRIS STREET, SUITE 200 DURHAM, NC 27701 CONTACTS: KELSEY WESTWOOD, PE / SETH WARD, PE PHONE: (919) 237-9483 EMAIL: KELSEY.WESTWOOD@KIMLEY-HORN.COM SETH.WARD@KIMLEY-HORN.COM</p>	<p><b>SURVEYOR</b> KCI ASSOCIATES OF NC, P.A. 4505 FALLS OF NEUSE ROAD, FLOOR 4 RALEIGH, NC 27609 PHONE: (919) 783-9214 CONTACT: ROB BAUMGARTNER, PLS EMAIL: ROB.BAUMGARTNER@KCI.COM</p>
<p><b>DEVELOPER</b> BUC-EE'S LTD. 327 FM 2004 LAKE JACKSON, TX 77566 CONTACT: STAN BEARD PHONE: (346) 774-2242 EMAIL: STAN.BEARD@BUC-EES.COM</p>	<p><b>LANDSCAPE ARCHITECT</b> BLU FISH COLLABORATIVE, INC. 107 LELAND STREET, SUITE 2 AUSTIN, TEXAS 78704 CONTACT: MICHAEL FISHBAUGH, PLA, ASLA, LEED AP, CLARB PHONE: (512) 388-4115 EMAIL: MIKE@BFCOLLABORATIVE.COM</p>	
	<p><b>ENV. ENGINEER</b> KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NC 27601 PHONE: (919) 677-2113 CONTACT: WILLIE SULLIVAN, PWS EMAIL: WILLIAM.SULLIVAN@KIMLEY-HORN.COM</p>	

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN
C300	OVERALL SITE PLAN
C301	ENLARGED SITE PLAN
C302	ENLARGED SITE PLAN
C303	ENLARGED SITE PLAN
C304	ENLARGED SITE PLAN
C400	OVERALL GRADING AND DRAINAGE PLAN
C401	ENLARGED GRADING AND DRAINAGE PLAN
C402	ENLARGED GRADING AND DRAINAGE PLAN
C403	ENLARGED GRADING AND DRAINAGE PLAN
C404	ENLARGED GRADING AND DRAINAGE PLAN
C500	OVERALL UTILITY PLAN
C501	ENLARGED UTILITY PLAN
C502	ENLARGED UTILITY PLAN
C503	ENLARGED UTILITY PLAN
C504	ENLARGED UTILITY PLAN
C600	SITE DETAILS
C601	SITE DETAILS
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L102	LANDSCAPE PLAN
L103	LANDSCAPE PLAN
L104	LANDSCAPE PLAN
L105	LANDSCAPE PLAN
L106	LANDSCAPE PLAN
L107	LANDSCAPE PLAN
L108	LANDSCAPE PLAN
L109	LANDSCAPE DETAILS
EX-1	OFFSITE ROADWAY IMPROVEMENTS

**Kimley-Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM #0102



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
013284018	10/31/2023	AS SHOWN	WTL	PY	SMW

**COVER SHEET**

**BUC-EE'S MEBANE  
PREPARED FOR  
BUC-EE'S LTD.**



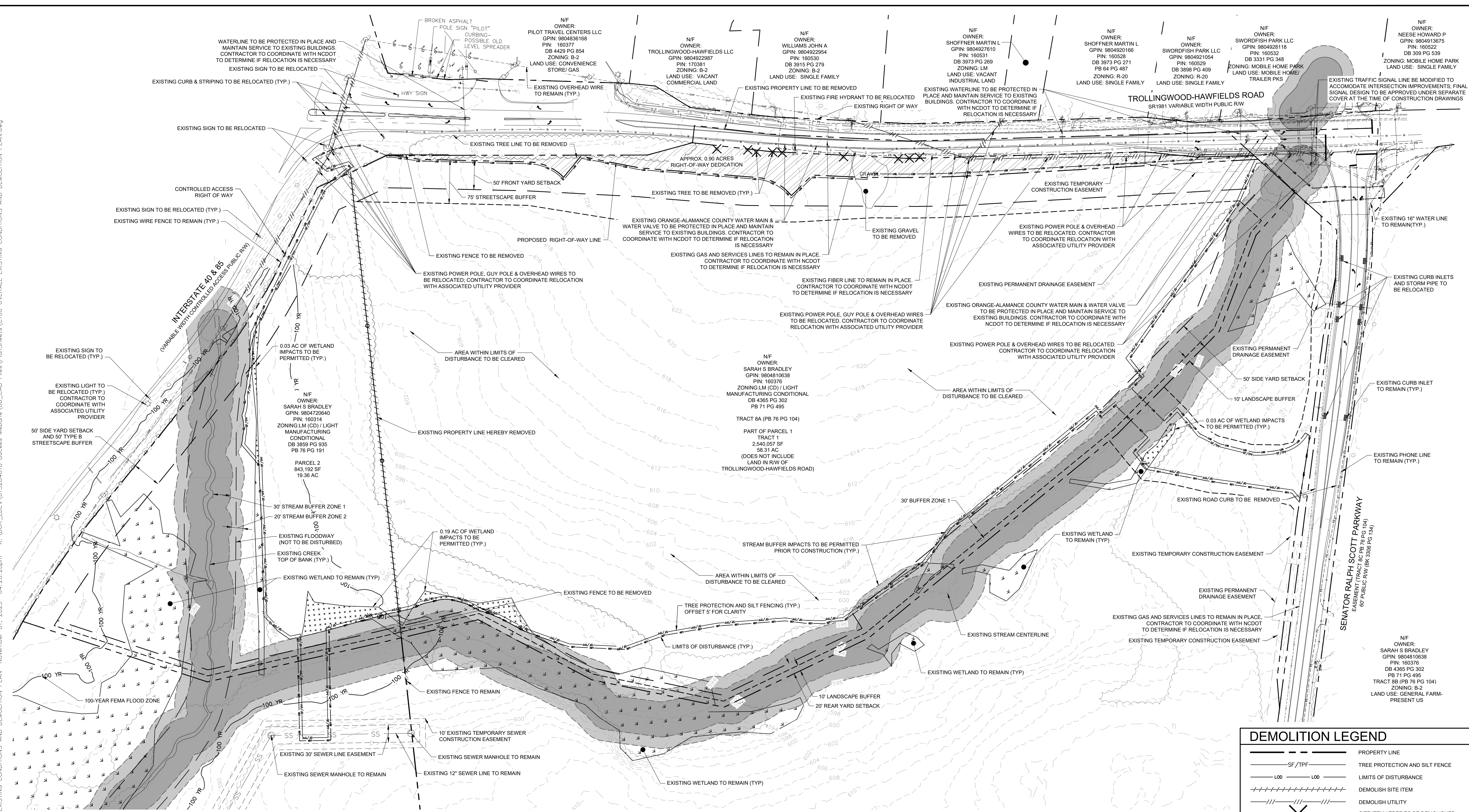
ENGINEERING SITE PLAN REVIEW FEE		
PROPOSED SQUARE FOOT	FEE	TOTAL
75,440 SF	\$100 PER 1,000 SF	\$7,544

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/31/2023 BY KCI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

SHEET NUMBER  
**C001**

No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and site for which it was prepared. Reuse of any information contained herein without the written authorization and approval of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. K:\VDP\_LDEV\01224018 - Business Machine\02\_CAD Files\PlanSheets\0100 - OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN.dwg



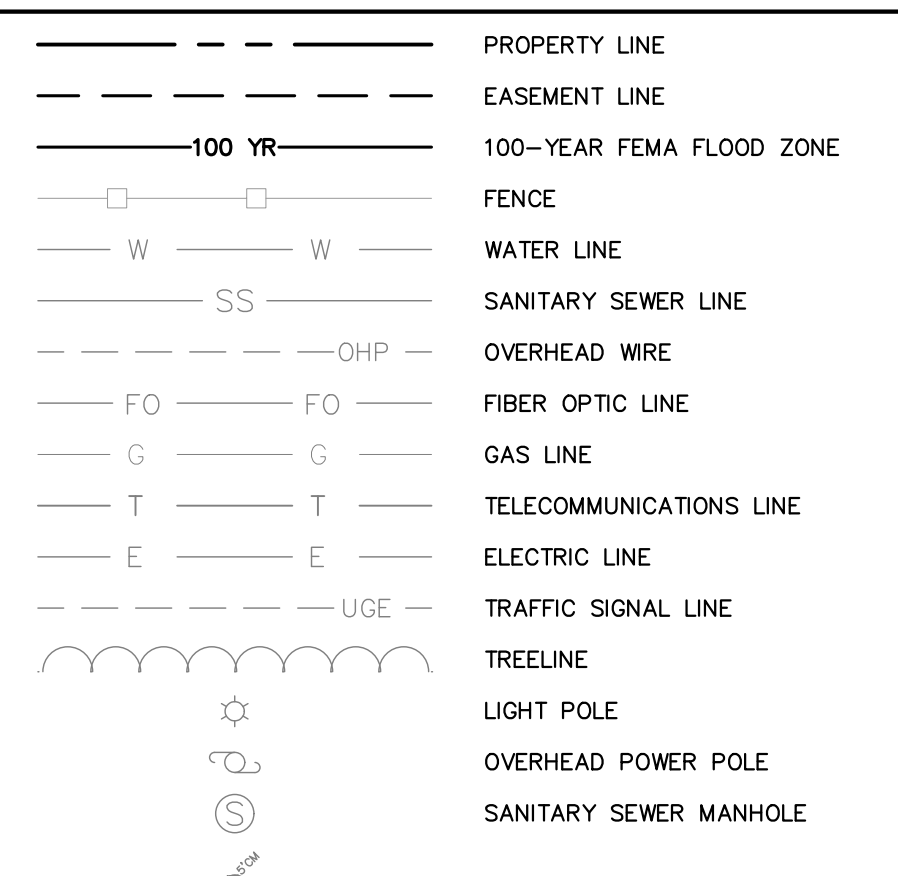
**DEMOLITION PLAN NOTES**

- CONTRACTOR SHALL COORDINATE WITH THE CITY OF MEBANE TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF DEMOLITION WORK.
- ALL DEMOLITION TO BE HAULED OFF SITE AND DISPOSED OF LEGALLY IN ACCORDANCE WITH STATE AND LOCAL CODES.
- TRAFFIC CONTROL REQUIRED BY CONTRACTOR PER MUTCD, CITY OF MEBANE, AND NCDOT REQUIREMENTS. ANTICIPATE WORK WITHIN ROADS TO BE PERFORMED BETWEEN THE HOURS OF 9AM - 4PM WEEKDAYS AND ANYTIME ON WEEKENDS, WITH THE EXCEPTION OF DURING EVENTS.
- DEMOLITION/LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL AFTER PLAN APPROVAL AND PRE-CONSTRUCTION MEETING ARE HELD.
- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES SHALL BE INCLUDED WITH THE BID. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- DEMOLITION IS DEPICTED IN THE DEMOLITION PLAN AND IS INTENDED TO DESCRIBE GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH

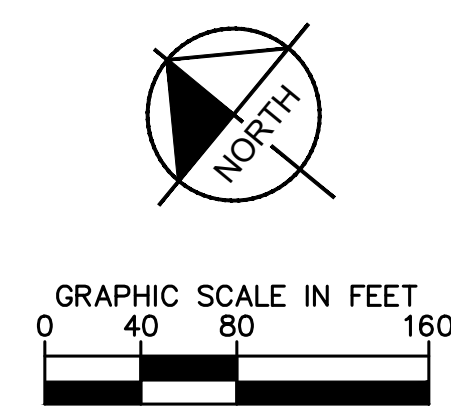
- THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
- REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
- CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC COMPANY IN THE REMOVAL/RELOCATION OF EXISTING UTILITY POLES AND OVERHEAD POWER LINES.
- THE CONTRACTOR SHALL ARRANGE FOR RESETTING OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND UTILITY POLES WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
- ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACES.
- FINISHED SURFACES TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
- SAW CUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAW CUT EXISTING PAVEMENT AT THE RIGHT-OF-WAY. SAW CUTS SHALL BE MADE FULL DEPTH THROUGHOUT THE EXISTING PAVEMENT. DISCARDED PAVEMENT SHALL BE REMOVED WITHOUT UNDERMINING THE EXISTING PAVEMENT.
- CONTRACTOR MAY LIMIT SAW CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE

- CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJOINING PROPERTIES THROUGHOUT CONSTRUCTION.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONTRACTOR SHALL CONSULT THE ENGINEER AND OWNER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE PROCEDURE FOR COMPACTED SOIL REMEDIATION IS AS FOLLOWS:  
 26.A. REMOVE ALL IMPERVIOUS SURFACES FROM THE SUBJECT AREA.  
 26.B. TILL THE AREA TO A DEPTH OF 12" BELOW TOP OF THE COMPACTED SUBGRADE.  
 26.C. PROVIDE SOIL AMENDMENTS AS NEEDED IN ACCORDANCE WITH SOIL TESTS. IF LIME AND/OR FERTILIZER ARE TO BE USED, IT SHALL BE APPLIED UNIFORMLY DURING SEEDBED PREPARATION AND MIXED WELL IN THE TOP 4 TO 6 INCHES OF SOIL OR APPLIED AS RECOMMENDED IN THE PLANTING SPECIFICATIONS FOR PROPOSED LANDSCAPING.

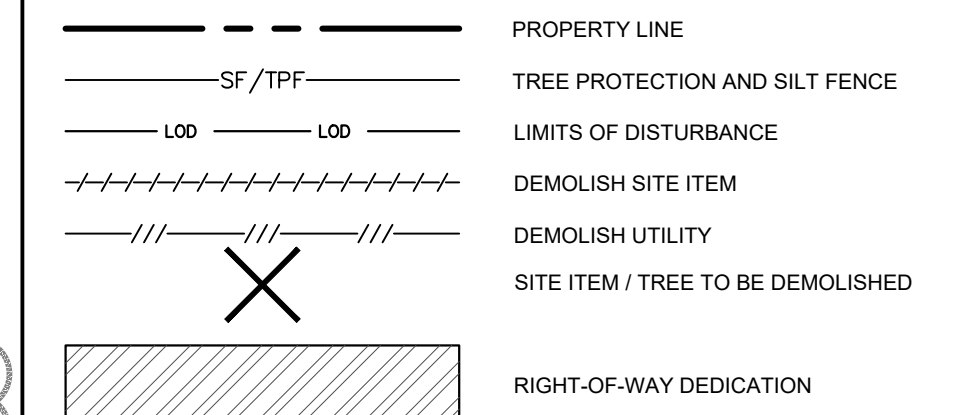
**EXISTING CONDITIONS LEGEND**



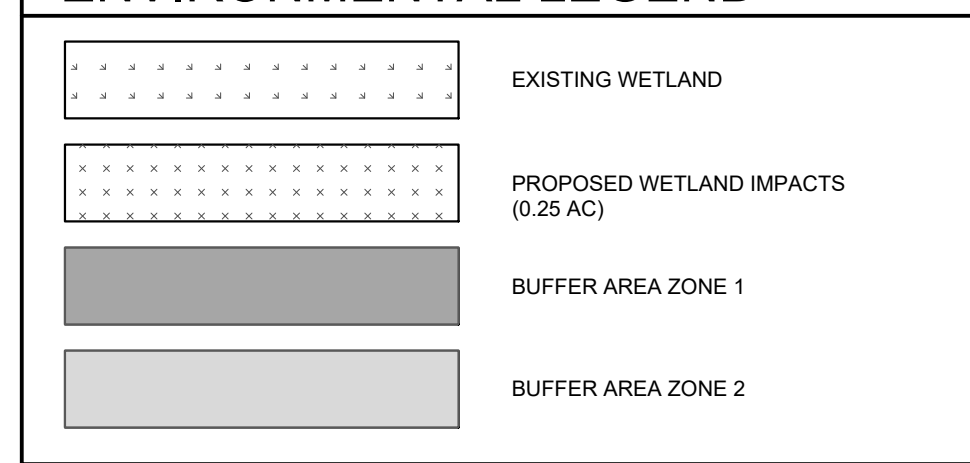
EXISTING CONDITIONS PLAN BASED ON SURVEY DATED 01/11/2023 BY KCI ASSOCIATES OF NC. REVISED RECORDED PLAT DATED 10/18/2023 CAN BE FOUND AT CITY OF MEBANE



**DEMOLITION LEGEND**



**ENVIRONMENTAL LEGEND**



**811**  
Know what's below. Call before you dig.

**SURVEY NOTE:** EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KCI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION. DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

03	REVISED PER 3RD TRC COMMENTS	10/31/23	BY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL
	REVISIONS		DATE

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 482-5553 WWW.KIMLEY-HORN.COM  
 NC FIRM #1-102

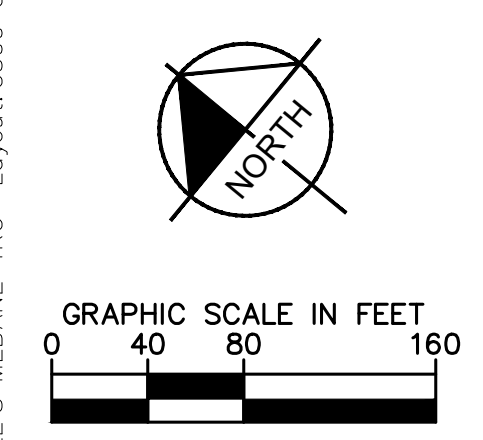
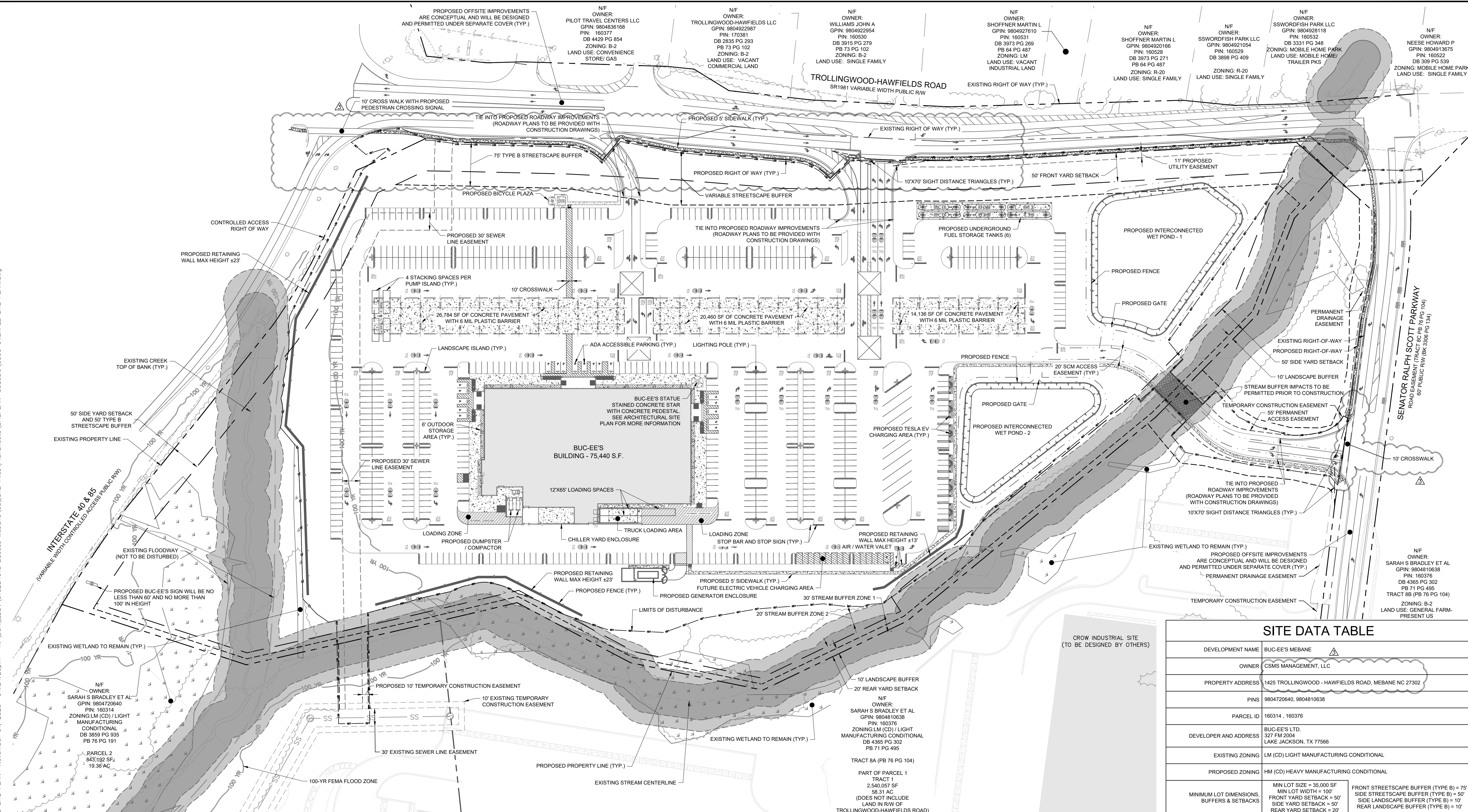
**NOT FOR CONSTRUCTION**  
 NORTH CAROLINA  
 KHA PROJECT 0132284018  
 DATE 10/31/2023  
 SCALE AS SHOWN  
 DESIGNED BY WTL  
 DRAWN BY PY  
 CHECKED BY SWW

**OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN**

**BUC-EE'S MEBANE**  
 PREPARED FOR  
**BUC-EE'S LTD.**  
 MEBANE, NC

SHEET NUMBER  
**C100**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C300 OVERALL SITE PLAN November 01, 2023 04:24:20pm K:\DUR\_DEV\013284018\BucEes\MEBANE\08\_CAD Files\PlanSheets\SITE PLAN-BUC-EE'S OVERALL SITE PLAN.dwg



**GENERAL NOTES:**

- DOG WASTE STATIONS WILL BE INCLUDED ON SITE. CONTRACTOR TO COORDINATE WITH BUC-EE'S REGARDING LOCATIONS OF THE DOG WASTE STATIONS.
- A LIGHTING PLAN MEETING THE REQUIREMENTS OF SECTION 6-6 OF MEBANE DDO WILL BE PROVIDED WITH CONSTRUCTION DRAWINGS.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KGI ASSOCIATES OF NO. 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

SITE LEGEND	
	PROPERTY LINE
	STREAM BUFFER LINE
	YARD SETBACK
	PUBLIC UTILITY EASEMENT
	STORMWATER ACCESS EASEMENT
	ACCESS EASEMENT
	TOP OF POND
	PROPOSED FENCE
	STANDARD CURB AND GUTTER
	RETAINING WALL
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	ACCESSIBLE PARKING MARKING
	LIGHT POLE

SITE LEGEND	
	PROPOSED BUILDING FOOTPRINT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK / SURFACE
	WETLANDS
	FUTURE ELECTRIC VEHICLE CHARGING AREA
	OUTDOOR STORAGE AREA

SITE PARKING DATA TABLE				
PARKING REQUIRED (CONVENIENCE STORE WITH GAS PUMPS: 1 PER 200)	75,440 SF/ 200 = 377 SPACES			
PARKING PROVIDED (INCLUDES ACCESSIBLE PARKING)	594 STANDARD SPACES	18 ADA SPACES	39 EV CHARGING SPACES (1 ADA)	2 AIR/WATER VALET SPACES (1 ADA AND 1 STANDARD)
	664 SPACES			
ACCESSIBLE PARKING REQUIRED (PER TABLE 1106.1 NC STATE BUILDING CODE)	20 SPACES			
ACCESSIBLE PARKING PROVIDED	20 SPACES (4 VAN)			
REQUIRED BICYCLE RACKS	1 BICYCLE RACK FOR EVERY ADA SPACE			
BICYCLE RACKS PROVIDED	20 BICYCLE RACKS			
REQUIRED / PROPOSED VEHICLE STACKING	4 STACKING SPACES PER PUMP ISLAND			

SITE DATA TABLE			
DEVELOPMENT NAME	BUC-EE'S MEBANE		
OWNER	CSMS MANAGEMENT, LLC		
PROPERTY ADDRESS	1425 TROLLINGWOOD - HAWFIELDS ROAD, MEBANE NC 27302		
PINS	9804720640, 9804810638		
PARCEL ID	160314, 160376		
DEVELOPER AND ADDRESS	BUC-EE'S LTD. 327 FM 2004 LAKE JACKSON, TX 77566		
EXISTING ZONING	LM (CD) LIGHT MANUFACTURING CONDITIONAL		
PROPOSED ZONING	HM (CD) HEAVY MANUFACTURING CONDITIONAL		
MINIMUM LOT DIMENSIONS, BUFFERS & SETBACKS	MIN LOT SIZE = 35,000 SF MIN LOT WIDTH = 100' FRONT YARD SETBACK = 50' SIDE YARD SETBACK = 50' REAR YARD SETBACK = 20'		
WATERSHED	JORDAN LAKE		
AREA OF TRACT	TOTAL SITE AREA: 1,415,167 SF/32,488 AC		
	AREA COVERED BY STRUCTURE: MAIN BUILDING: 75,440 SF CANOPY: 65,099 SF TOTAL: 3,23 AC	AREA COVERED BY ASPHALT/CONCRETE: 493,222 SF 11.44 AC	TOTAL UNDISTURBED AREA: 433,151 SF 9.94 AC
PROPOSED BUILDING	BUC-EE'S		
PROPOSED BUILDING HEIGHT	38'-5"		
PROPOSED CANOPY HEIGHT	30'		
EXISTING PARCEL AREA	33.16 AC		
EXISTING PARCEL WITHIN RIGHT-OF-WAY (TO BE DEDICATED)	0.68 AC		
PROPOSED RIGHT-OF-WAY DEDICATION	0.90 AC		
PROPOSED PARCEL AREA	31.58 AC		
PROPOSED USE	TRAVEL PLAZA (TRUCKS AND TRUCK STOPS NOT PERMITTED)		
BUILDING SQUARE FOOTAGE	75,440 SF		
WETLAND IMPACTS	0.25 AC		

NO.	DATE	BY
03	10/31/23	PY
02	09/29/23	WTL
01	08/29/23	WTL
00	04/21/23	WTL

**Kimley-Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM # 0102

**NOT FOR CONSTRUCTION**

PRELIMINARY

10/31/2023

**OVERALL SITE PLAN**

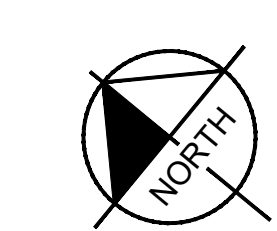
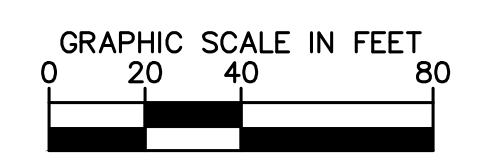
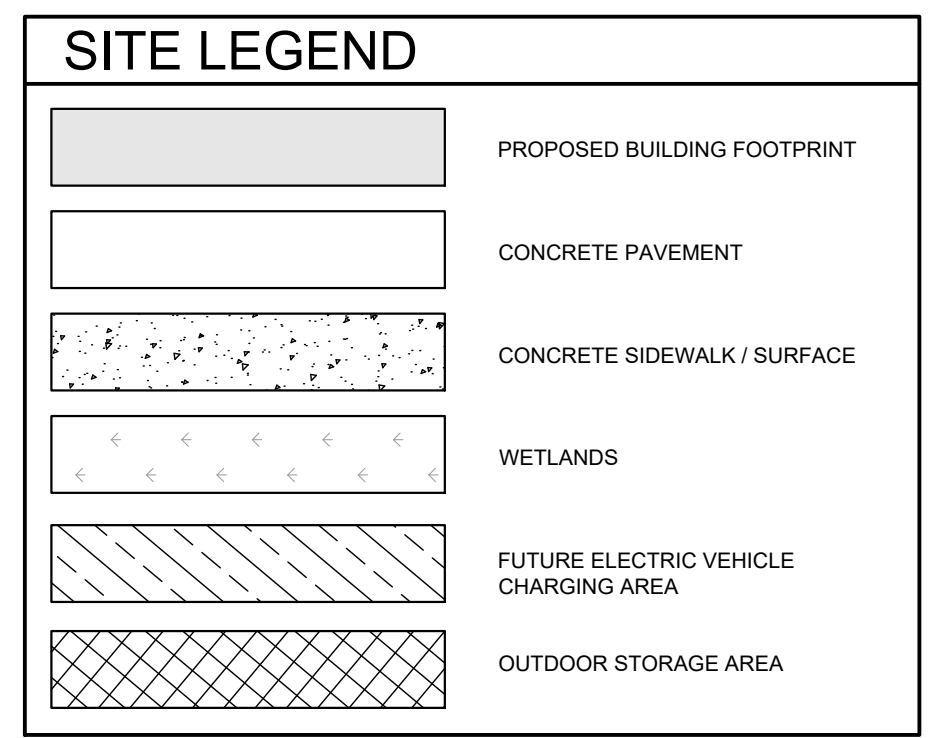
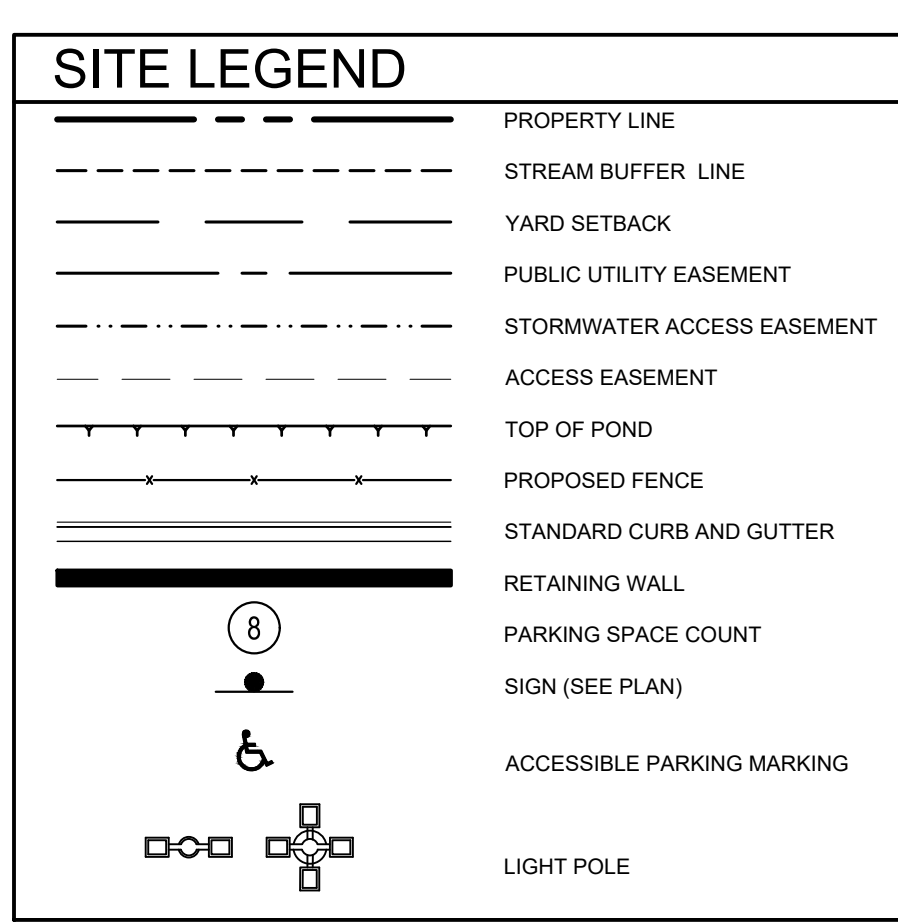
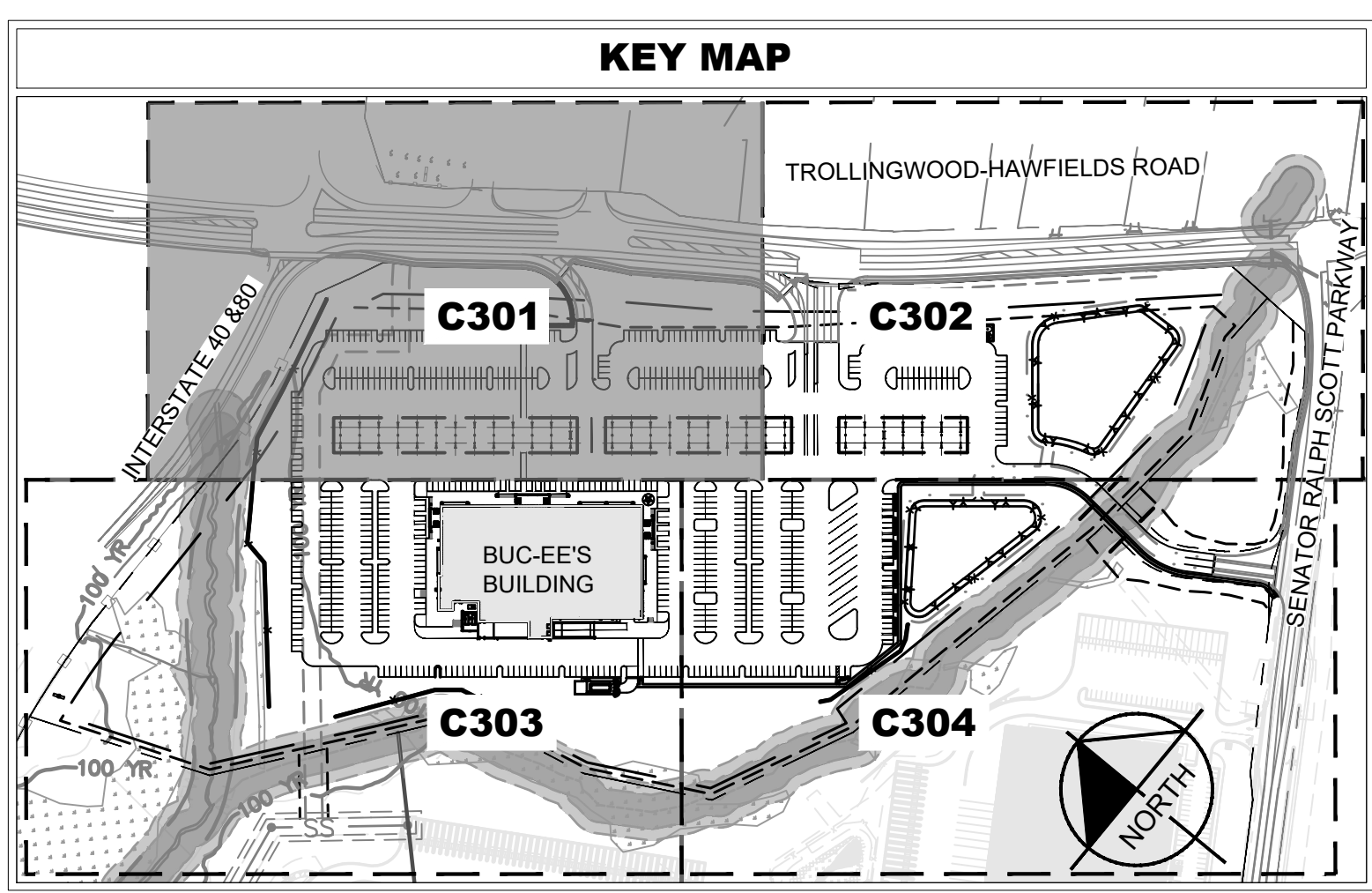
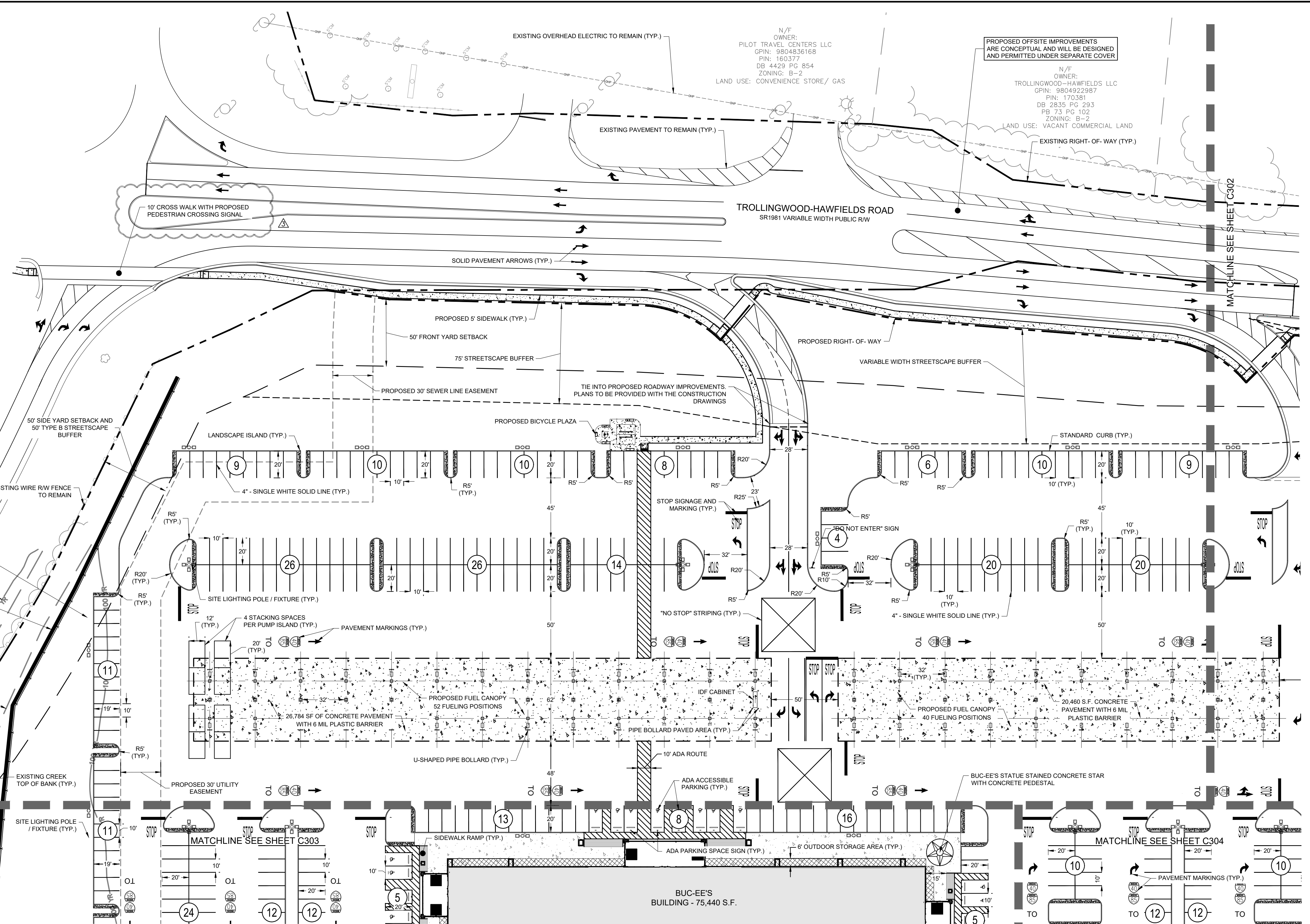
**BUC-EE'S MEBANE**

PREPARED FOR  
**BUC-EE'S LTD.**

SHEET NUMBER  
**C300**

**SITE NOTES**

1. SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING, AND USE.
2. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE SHOWN.
3. DIMENSIONS TO THE BUILDINGS ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
4. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
5. ACCESSIBLE AREAS AND PARKING STALL SLOPE SHALL NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.
6. ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
7. CURB RAMPS SHALL BE PER CITY OF MEBANE STANDARD DETAILS.
8. TWO COATS WHITE TRAFFIC PAINT (4" MIN. WIDTH) REQUIRED FOR PAVEMENT STRIPING EXCEPT TWO COATS BLUE TRAFFIC PAINT SHALL BE USED FOR HANDICAP PARKING AREA (18" LETTERS, 2" PAINT STROKE).
9. ALL PAVEMENT SECTIONS SHOULD BE PER GEOTECHNICAL REPORT.
10. ALL RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
11. THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117-1.2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR, OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. A SEALED AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNEE, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND ACCESS AND PARKING CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODES PRIOR TO CO ISSUANCE.



**811**  
Know what's below.  
Call before you dig.

**GEOTECH. NOTE:**  
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM # - 0102



KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

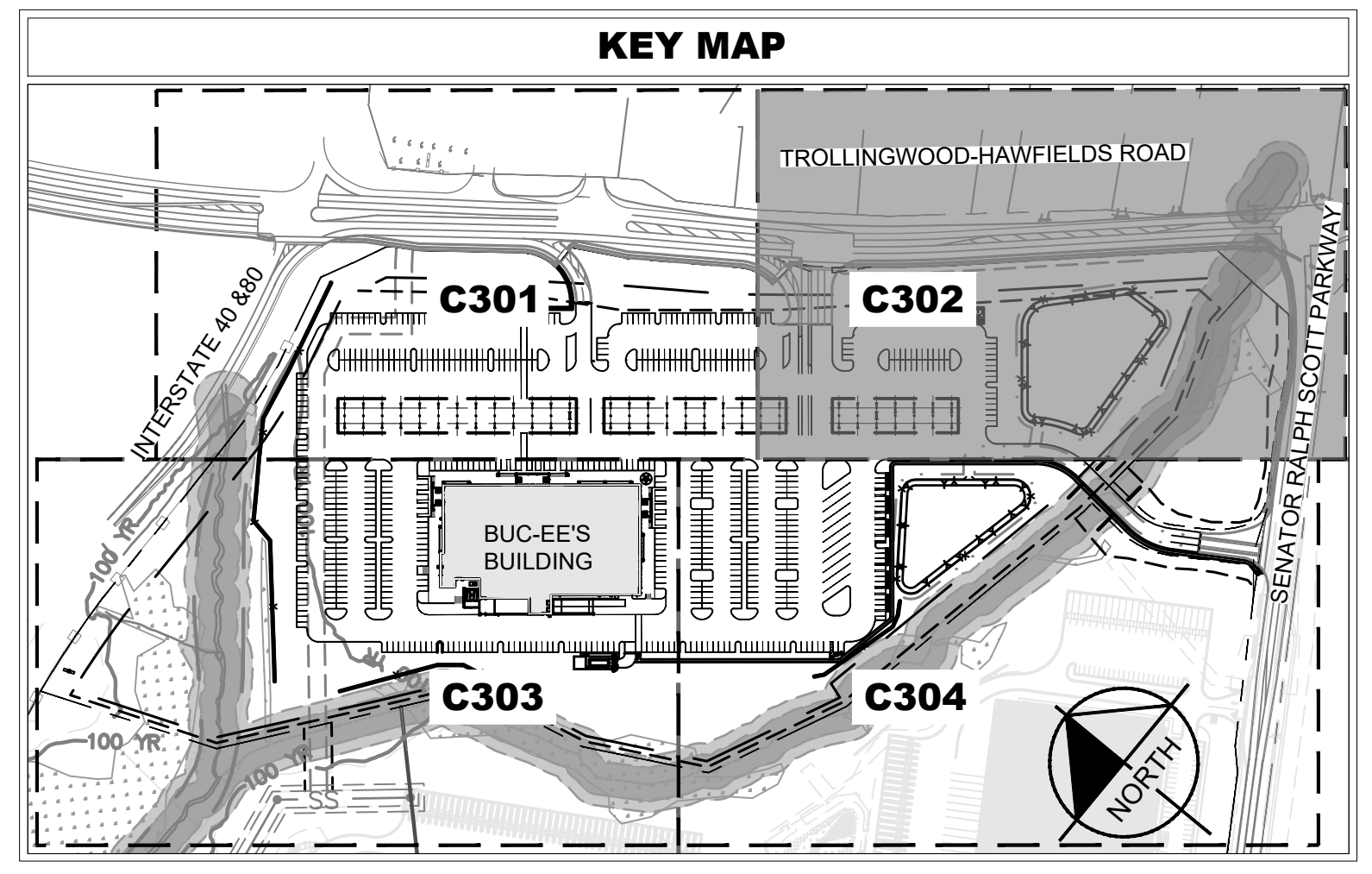
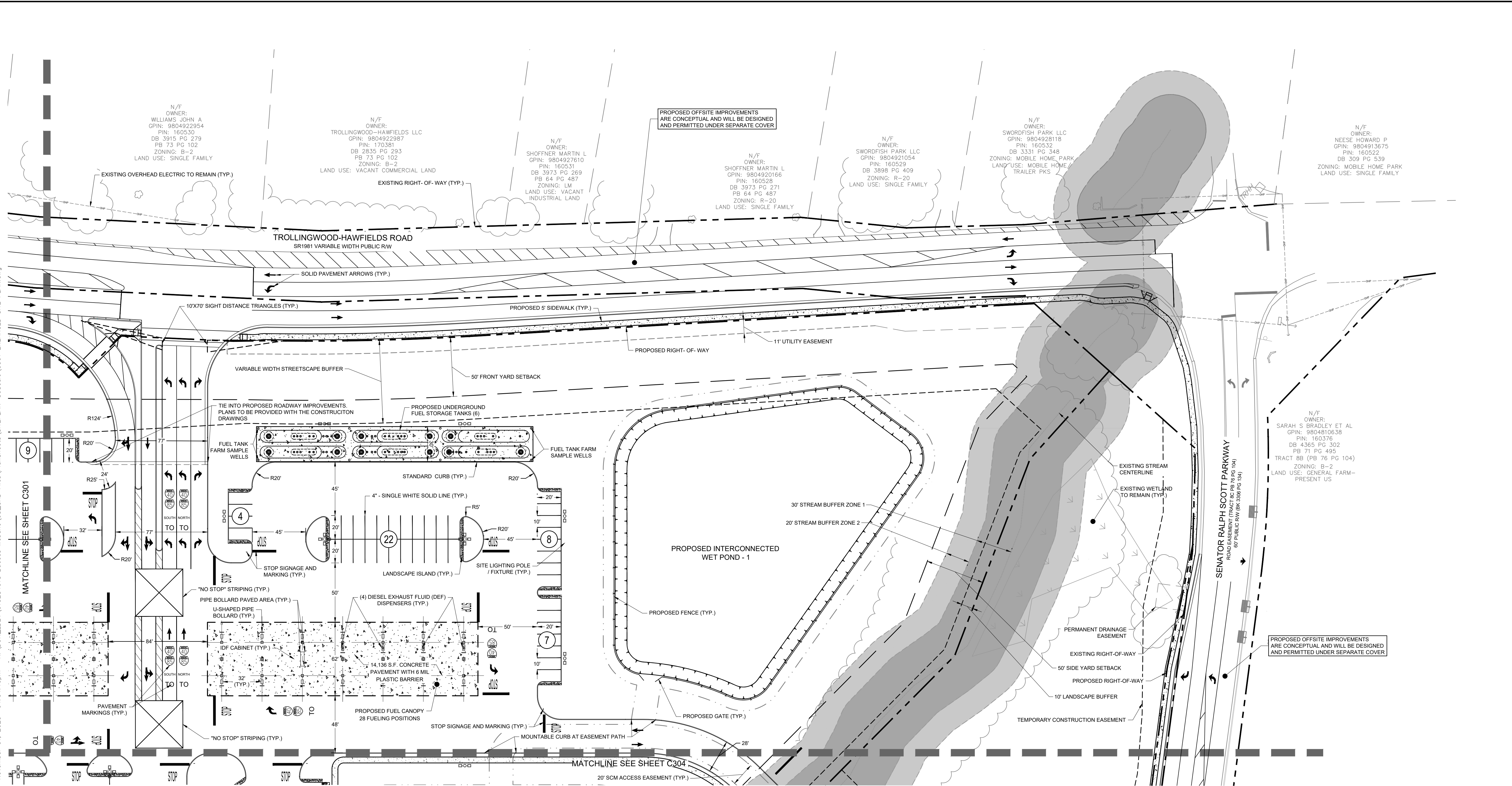
**ENLARGED SITE PLAN**

**BUC-EE'S MEBANE**  
PREPARED FOR  
BUC-EE'S LTD.

SHEET NUMBER  
**C301**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Use of this document for any other purpose without the written authorization and approval of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yun, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C301 ENLARGED SITE PLAN November 01, 2023 04:03:49pm K:\OUR\_IDEV\013284018 BUCee's MEBANE\08\_CAD Files\PlanSheets\SitePlan\080301 ENLARGED SITE PLAN.dwg

This document, together with the exhibits and drawings, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



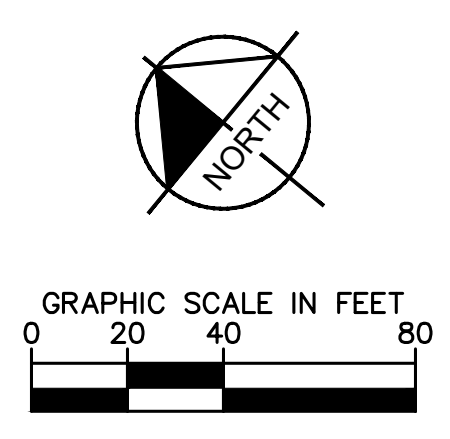
**SITE LEGEND**

	PROPERTY LINE
	STREAM BUFFER LINE
	YARD SETBACK
	PUBLIC UTILITY EASEMENT
	STORMWATER ACCESS EASEMENT
	ACCESS EASEMENT
	TOP OF POND
	PROPOSED FENCE
	STANDARD CURB AND GUTTER
	RETAINING WALL
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	ACCESSIBLE PARKING MARKING
	LIGHT POLE

**SITE LEGEND**

	PROPOSED BUILDING FOOTPRINT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK / SURFACE
	WETLANDS
	FUTURE ELECTRIC VEHICLE CHARGING AREA
	OUTDOOR STORAGE AREA

- SITE NOTES**
- SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING, AND USE.
  - ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE SHOWN.
  - DIMENSIONS TO THE BUILDINGS ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
  - BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
  - ACCESSIBLE AREAS AND PARKING STALL SLOPE SHALL NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.
  - ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
  - CURB RAMP SLOPES SHALL BE PER CITY OF MEBANE STANDARD DETAILS.
  - TWO COATS WHITE TRAFFIC PAINT (4" MIN. WIDTH) REQUIRED FOR PAVEMENT STRIPING EXCEPT TWO COATS BLUE TRAFFIC PAINT SHALL BE USED FOR HANDICAP PARKING AREA (18" LETTERS, 2" PAINT STROKE).
  - ALL ROAD SECTIONS SHOULD BE PER GEOTECHNICAL REPORT.
  - ALL RADI SHALL BE 5' UNLESS OTHERWISE NOTED.
  - THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCSU) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR, OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. A SEALED AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNER, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND ACCESS AND PARKING CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODES PRIOR TO CO ISSUANCE.



**811**  
Know what's below.  
Call before you dig.

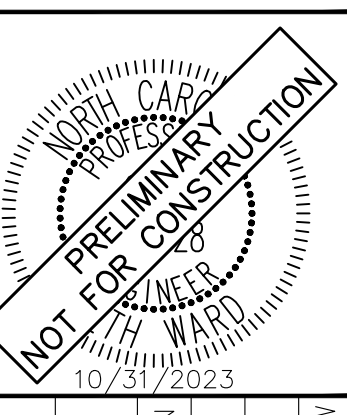
**GEOTECH. NOTE:**  
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

NO.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM # 0102



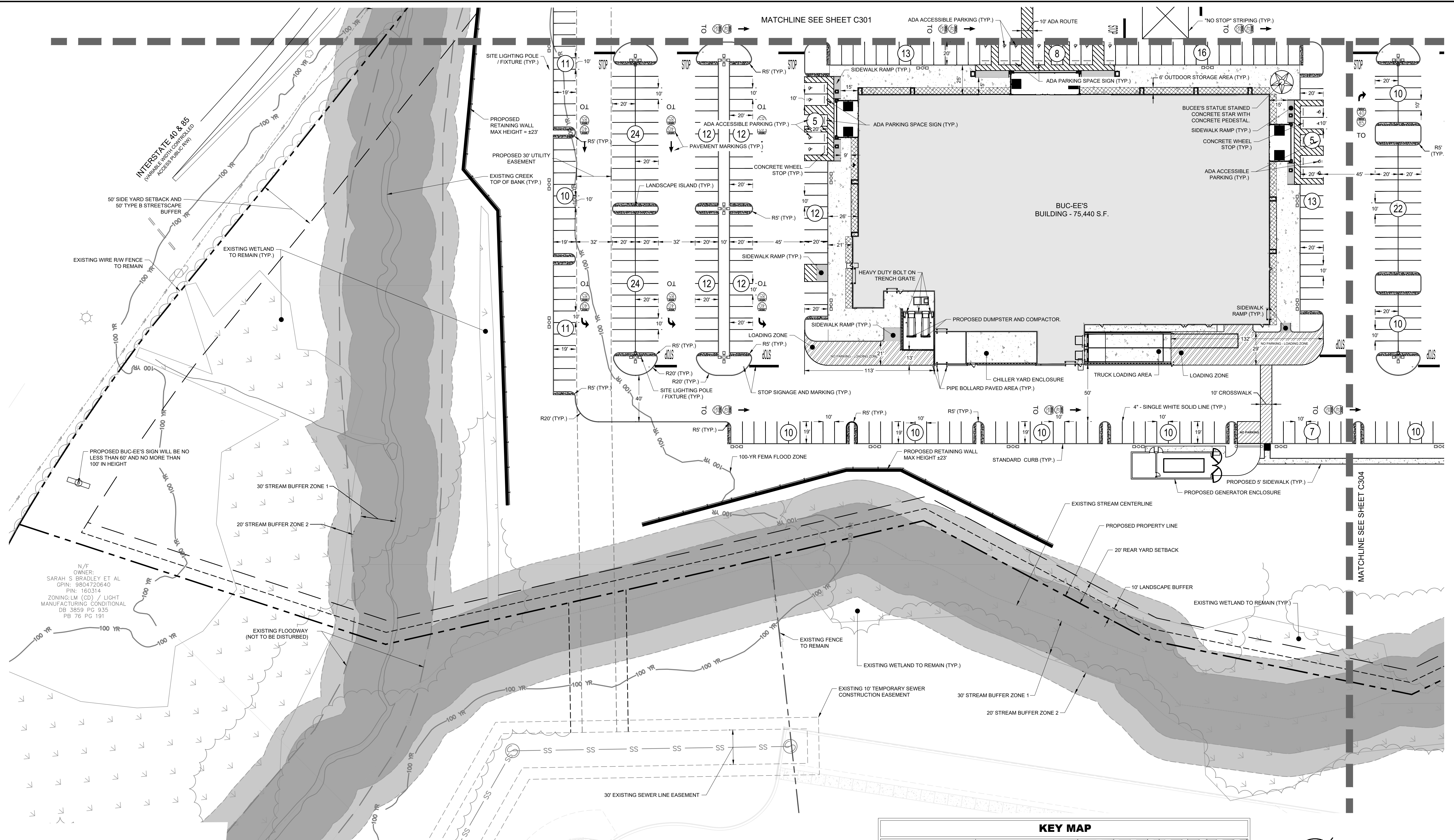
KHA PROJECT	01328-4018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

**ENLARGED SITE PLAN**

**BUC-EE'S MEBANE**  
PREPARED FOR  
**BUC-EE'S LTD.**

SHEET NUMBER  
**C302**

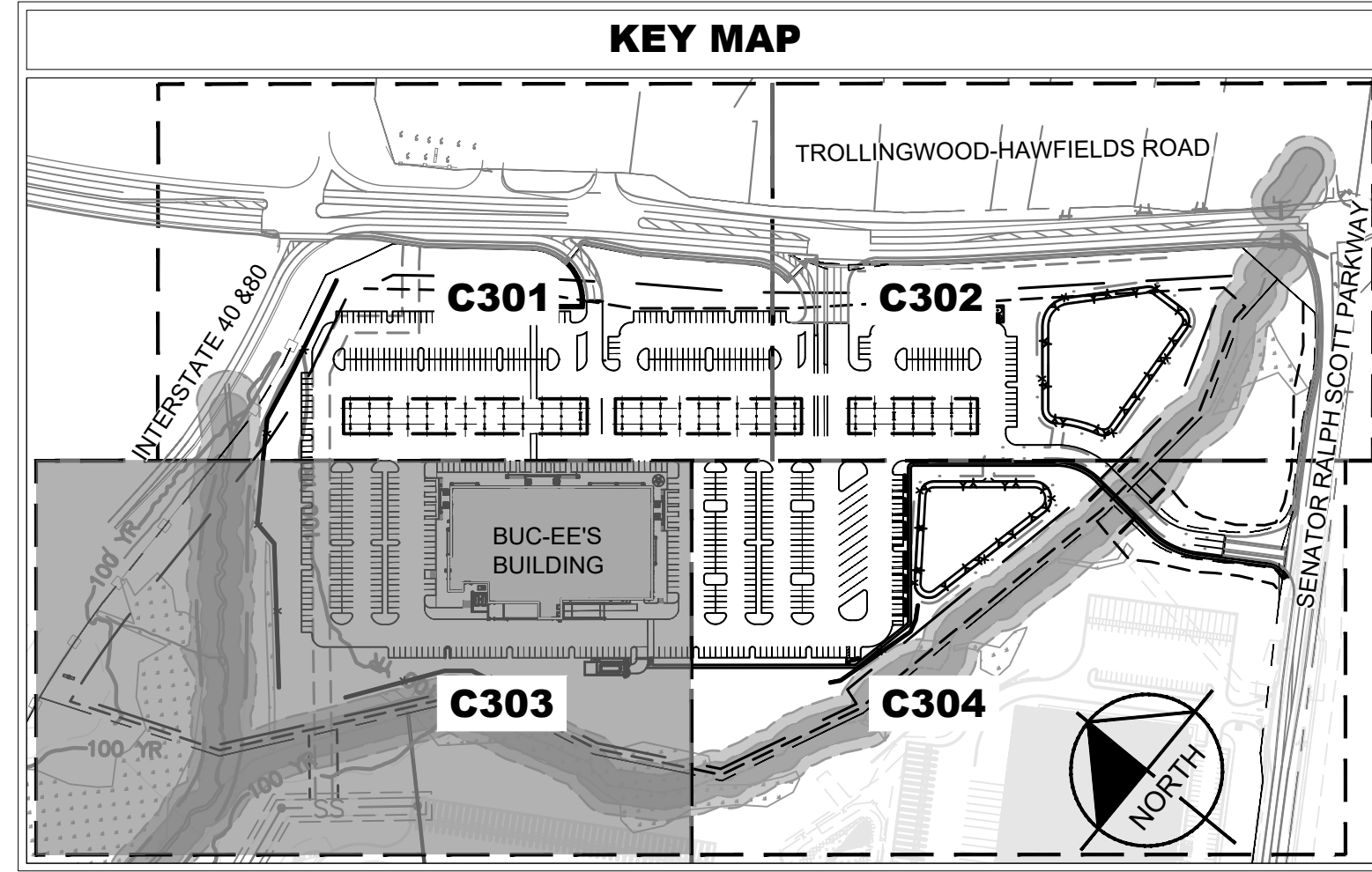
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yur, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C303 ENLARGED SITE PLAN November 01, 2023 04:04:35pm K:\DUR\_DEV\013284018\_Bucsee\SitePlan-C301 ENLARGED SITE PLAN.dwg



SITE LEGEND	
	PROPERTY LINE
	STREAM BUFFER LINE
	YARD SETBACK
	PUBLIC UTILITY EASEMENT
	STORMWATER ACCESS EASEMENT
	ACCESS EASEMENT
	TOP OF POND
	PROPOSED FENCE
	STANDARD CURB AND GUTTER
	RETAINING WALL
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	ACCESSIBLE PARKING MARKING
	LIGHT POLE

SITE LEGEND	
	PROPOSED BUILDING FOOTPRINT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK / SURFACE
	WETLANDS
	FUTURE ELECTRIC VEHICLE CHARGING AREA
	OUTDOOR STORAGE AREA

- ### SITE NOTES
- SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING, AND USE.
  - ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE SHOWN.
  - DIMENSIONS TO THE BUILDINGS ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
  - BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
  - ACCESSIBLE AREAS AND PARKING STALL SLOPE SHALL NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.
  - ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
  - CURB RAMPS SHALL BE PER CITY OF MEBANE STANDARD DETAILS.
  - TWO COATS WHITE TRAFFIC PAINT (4" MIN WIDTH) REQUIRED FOR PAVEMENT STRIPING EXCEPT TWO COATS BLUE TRAFFIC PAINT SHALL BE USED FOR HANDICAP PARKING AREA (18" LETTERS, 2" PAINT STROKE).
  - ALL ROAD SECTIONS SHOULD BE PER GEOTECHNICAL REPORT.
  - ALL RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
  - THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NC80) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR, OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. A SEALED AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNER, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND ACCESS AND PARKING CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODES PRIOR TO CO ISSUANCE.



GRAPHIC SCALE IN FEET  
0 20 40 80

**811**  
Know what's below.  
Call before you dig.

GEOTECH. NOTE:  
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

SURVEY NOTE:  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # 0102

NORTH CAROLINA  
PRELIMINARY  
NOT FOR CONSTRUCTION

10/31/2023

KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

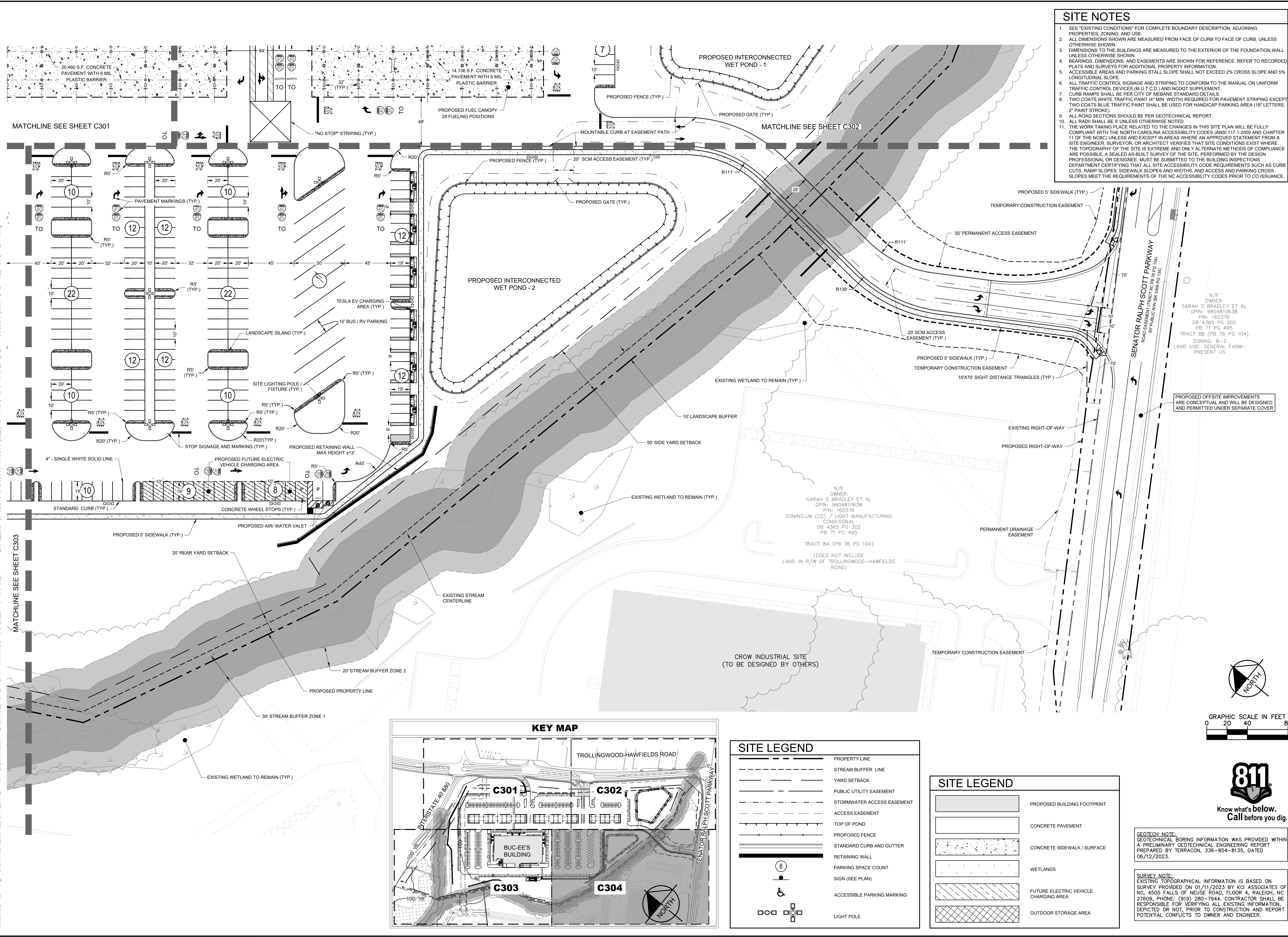
ENLARGED SITE PLAN

BUC-EE'S MEBANE

PREPARED FOR  
BUC-EE'S LTD.

SHEET NUMBER  
**C303**

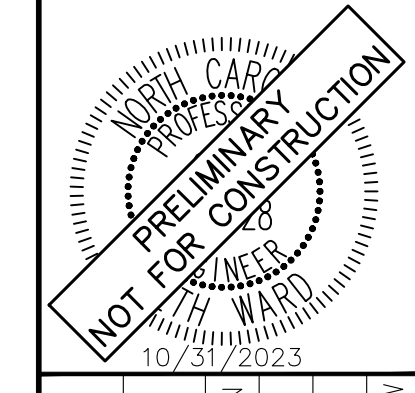
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yun, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C304 - ENLARGED SITE PLAN - November 01, 2023 04:05:00pm K:\DUR\_LDEV\013284018\_Bucsee\08\_CAD Files\PlanSheets\SITEPLAN-Bucsee\C304 - ENLARGED SITE PLAN.dwg



- ### SITE NOTES
- SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING, AND USE.
  - ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE SHOWN.
  - DIMENSIONS TO THE BUILDINGS ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
  - BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.
  - ACCESSIBLE AREAS AND PARKING STALL SLOPE SHALL NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.
  - ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
  - CURB RAMP SLOPE SHALL BE PER CITY OF MEBANE STANDARD DETAILS.
  - TWO COATS WHITE TRAFFIC PAINT (4" MIN. WIDTH) REQUIRED FOR PAVEMENT STRIPING EXCEPT TWO COATS BLUE TRAFFIC PAINT SHALL BE USED FOR HANDICAP PARKING AREA (18" LETTERS, 2" PAINT STRIPE).
  - ALL ROAD SECTIONS SHOULD BE PER GEOTECHNICAL REPORT.
  - ALL RADI SHALL BE 5' UNLESS OTHERWISE NOTED.
  - THE WORK TAKING PLACE RELATED TO THE CHANGES IN THIS SITE PLAN WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117-1-2009 AND CHAPTER 11 OF THE NCCO) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR, OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. A SEALED AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNEE, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND ACCESS AND PARKING CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODES PRIOR TO CO ISSUANCE.

NO.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # 0102



KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

# ENLARGED SITE PLAN

**BUC-EE'S MEBANE**

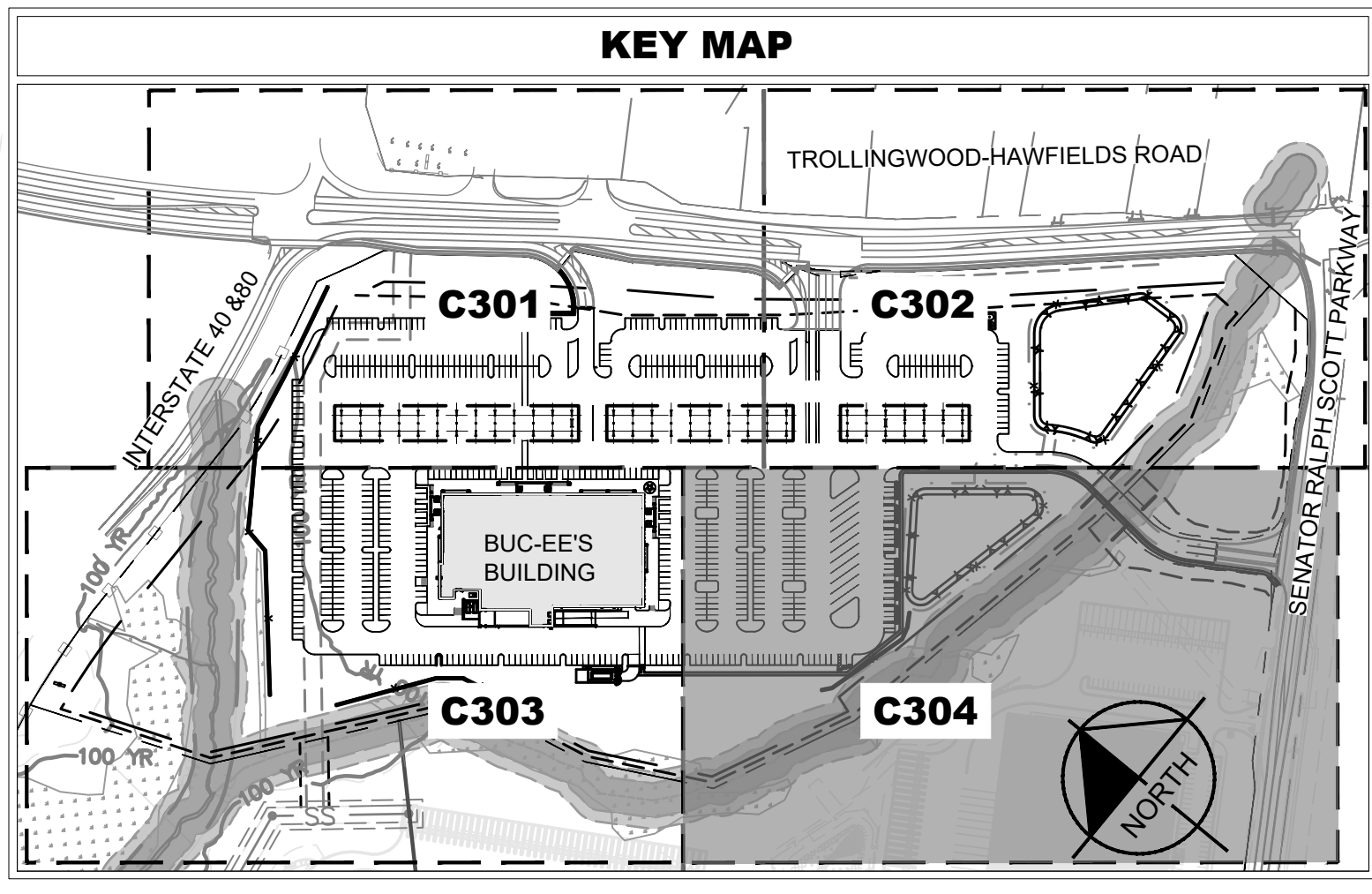
PREPARED FOR  
**BUC-EE'S LTD.**

811  
Know what's below.  
Call before you dig.

GEOTECH. NOTE:  
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

SURVEY NOTE:  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

SHEET NUMBER  
**C304**

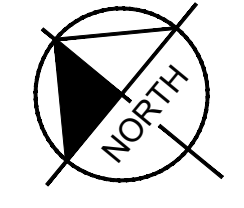
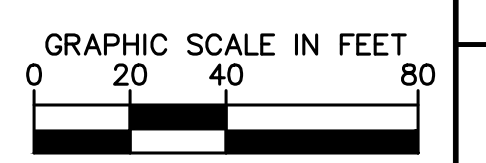


### SITE LEGEND

---	PROPERTY LINE
- - - -	STREAM BUFFER LINE
- - - -	YARD SETBACK
- - - -	PUBLIC UTILITY EASEMENT
- - - -	STORMWATER ACCESS EASEMENT
- - - -	ACCESS EASEMENT
- - - -	TOP OF POND
- - - -	PROPOSED FENCE
- - - -	STANDARD CURB AND GUTTER
- - - -	RETAINING WALL
- - - -	PARKING SPACE COUNT
- - - -	SIGN (SEE PLAN)
♿	ACCESSIBLE PARKING MARKING
⊕	LIGHT POLE

### SITE LEGEND

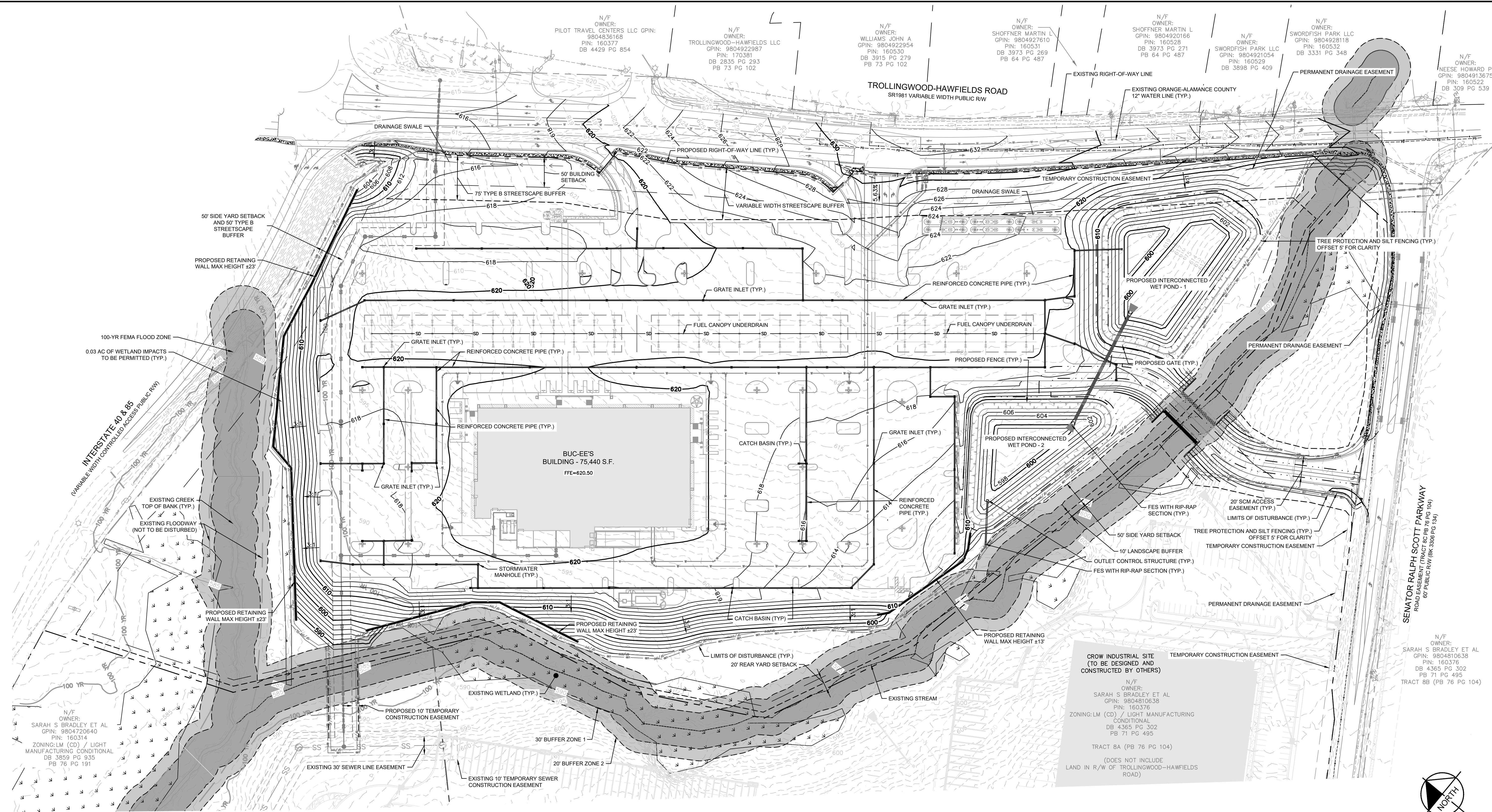
[Pattern]	PROPOSED BUILDING FOOTPRINT
[Pattern]	CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK / SURFACE
[Pattern]	WETLANDS
[Pattern]	FUTURE ELECTRIC VEHICLE CHARGING AREA
[Pattern]	OUTDOOR STORAGE AREA



N/F OWNER:  
 SARAH S. BRADLEY ET AL  
 GPIN: 9804810638  
 PIN: 160376  
 ZONING: LM (CD) / LIGHT MANUFACTURING  
 CONDITIONAL  
 DB 4365 PG 302  
 PB 71 PG 495  
 TRACT 8A (PB 76 PG 104)  
 (DOES NOT INCLUDE  
 LAND IN R/W OF TROLLINGWOOD-HAWFIELDS  
 ROAD)

PROPOSED OFFSITE IMPROVEMENTS  
 ARE CONCEPTUAL AND WILL BE DESIGNED  
 AND PERMITTED UNDER SEPARATE COVER

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Word, Seth Sheet Set: BUC-EE'S MEBANE TRC Layout: C400 OVERALL GRADING AND DRAINAGE PLAN November 01, 2023 05:28:07pm K:\DUR\_LDEV\01284018 Bucees Mebane\08\_CAD Files\PlanSheets\SITEPLAN-80Scale\C400 OVERALL GRADING AND DRAINAGE PLAN.dwg

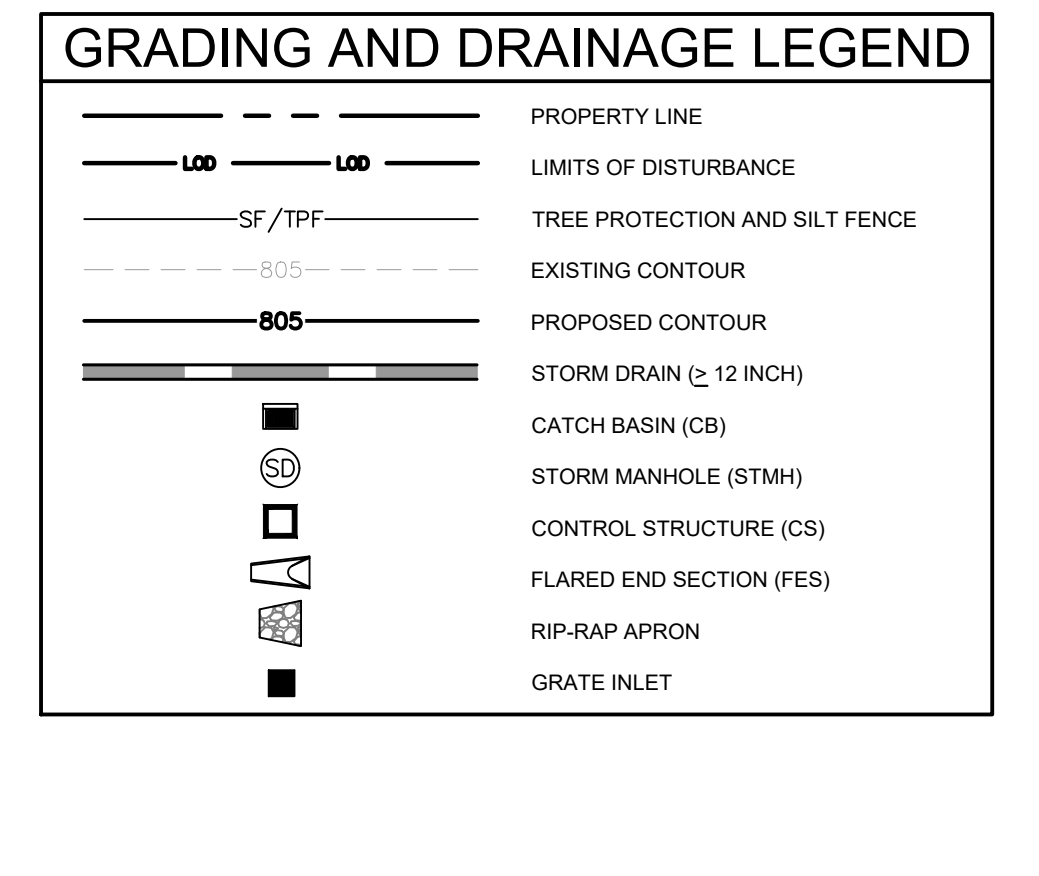


**GRADING & STORMWATER NOTES**

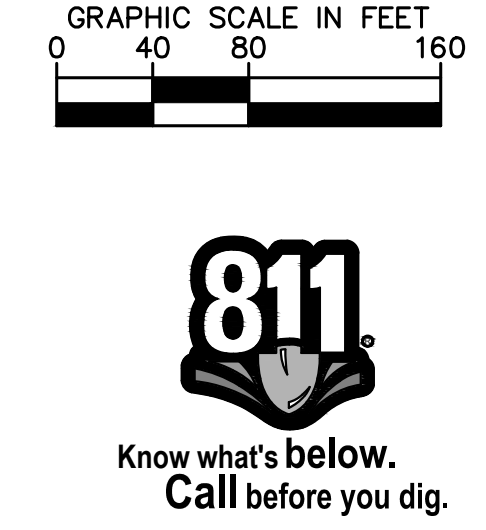
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF MEBANE STANDARD DETAILS AND SPECIFICATIONS.
- ALL SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE RIM ELEVATIONS SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.
- AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- TEMPORARY MATTING SHALL BE LOCATED ALONG ALL 3:1 SLOPES.
- CONTRACTOR TO FOLLOW THE MANUFACTURER'S RECOMMENDATIONS OR THE CITY OF MEBANE'S SPECIFICATIONS FOR HDPE BEDDING REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

**GRADING & STORMWATER NOTES**

- SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY AND NCDOT INSPECTORS.
- CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.



**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/31/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEFICIT OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL
No.	REVISIONS	DATE	BY

**Kimley»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM # 0102



KHA PROJECT	013284018
DATE	10/31/2023
SCALE AS SHOWN	PY
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

**OVERALL GRADING AND DRAINAGE PLAN**

**BUC-EE'S MEBANE**  
PREPARED FOR  
**BUC-EE'S LTD.**

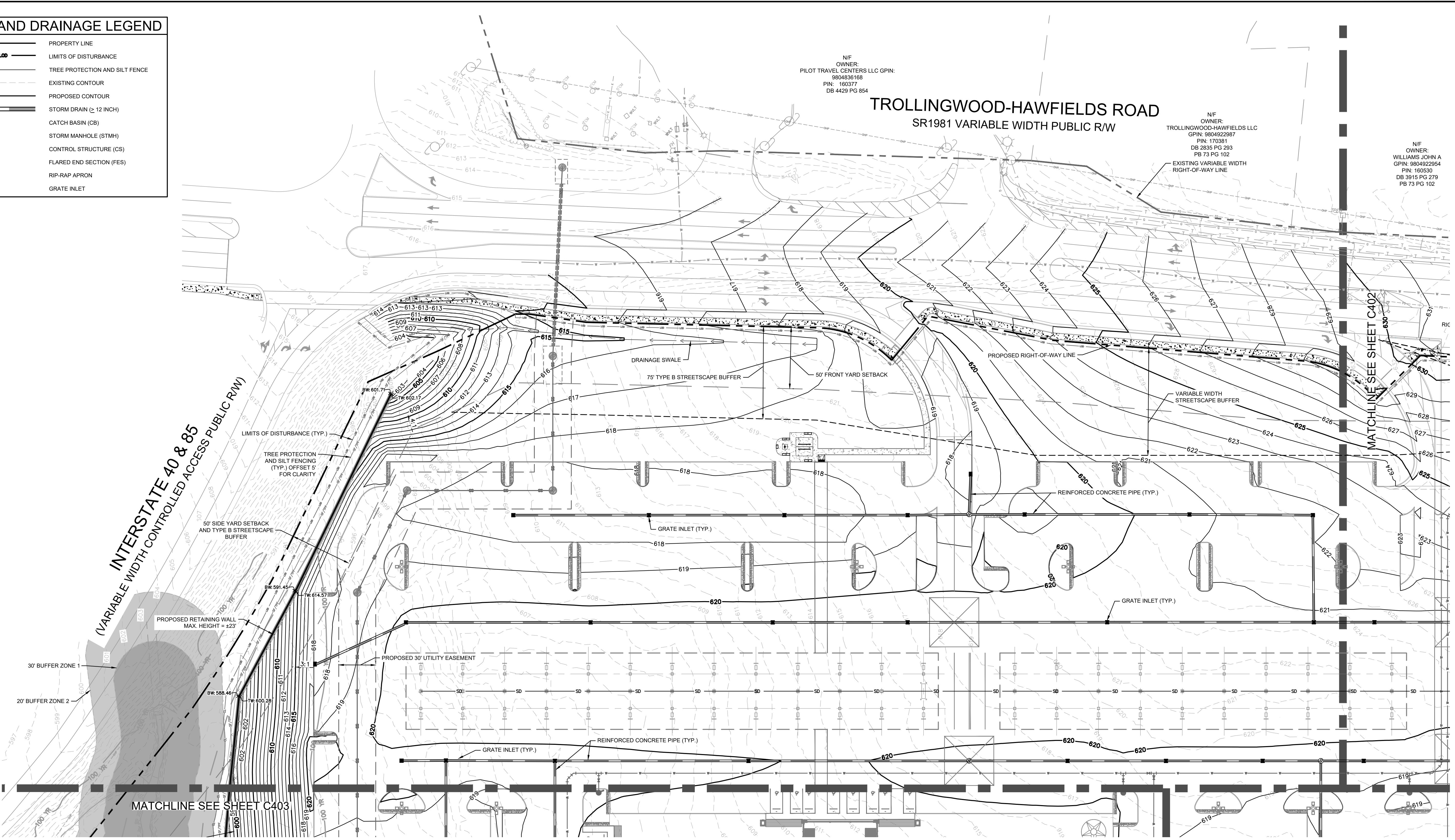
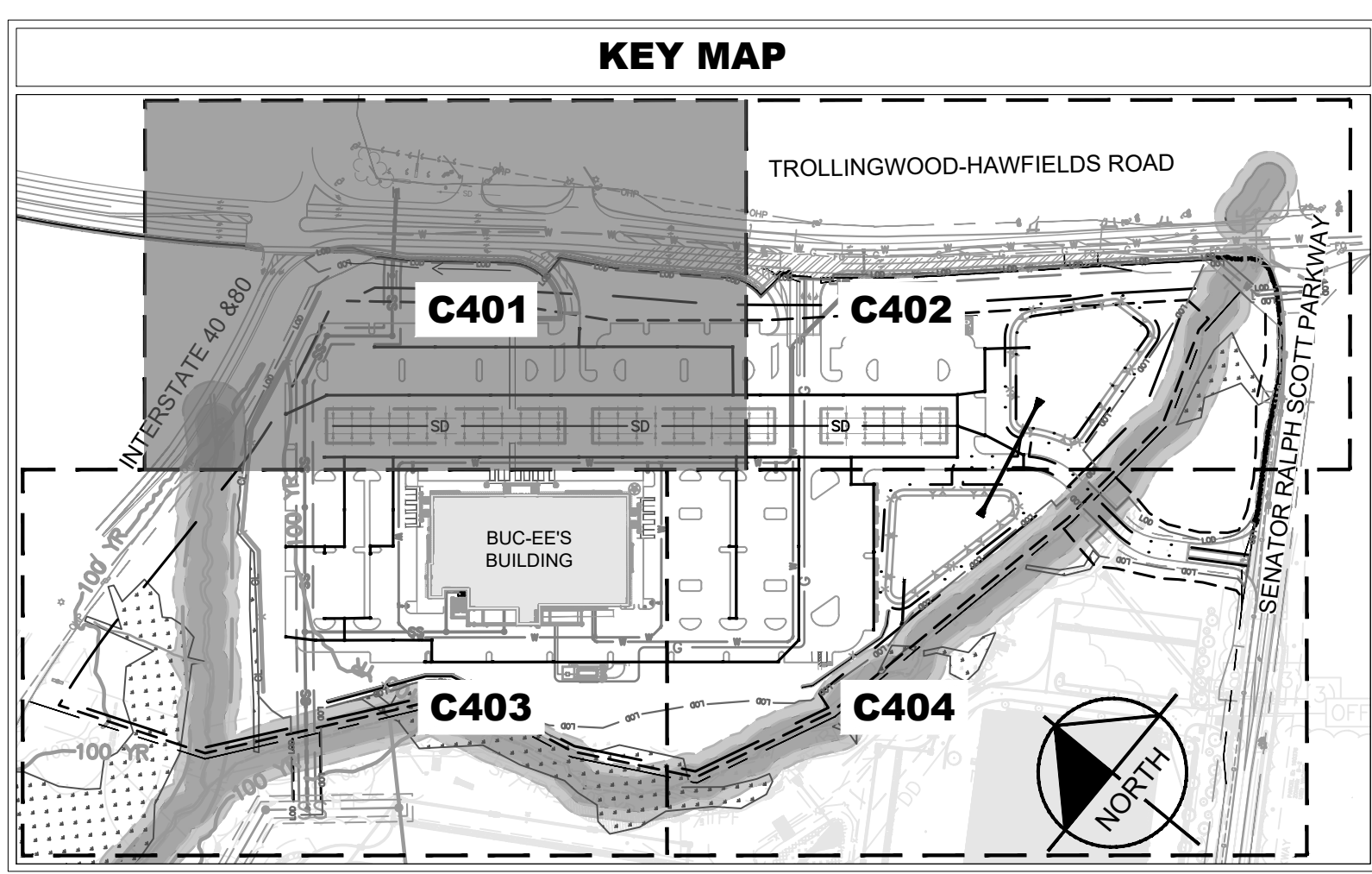
SHEET NUMBER  
**C400**



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

### GRADING AND DRAINAGE LEGEND

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	TREE PROTECTION AND SILT FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	STORM DRAIN (12 INCH)
	CATCH BASIN (CB)
	STORM MANHOLE (STMH)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	RIP-RAP APRON
	GRATE INLET



NIF  
 OWNER:  
 PILOT TRAVEL CENTERS LLC GPIN:  
 980438168  
 PIN: 160377  
 DB 4429 PG 854

## TROLLINGWOOD-HAWFIELDS ROAD

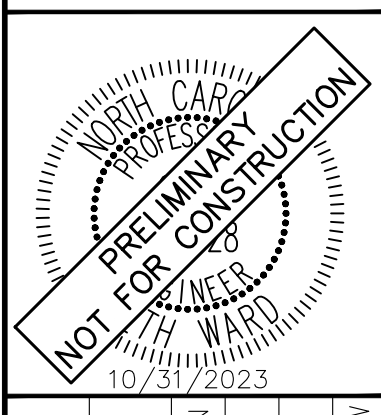
### SR1981 VARIABLE WIDTH PUBLIC R/W

NIF  
 OWNER:  
 TROLLINGWOOD-HAWFIELDS LLC  
 GPIN: 980422987  
 PIN: 170381  
 DB 2835 PG 293  
 PB 73 PG 102

NIF  
 OWNER:  
 WILLIAMS JOHN A  
 GPIN: 9804922954  
 PIN: 160530  
 DB 3915 PG 279  
 PB 73 PG 102

03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL
No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # 0102



KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

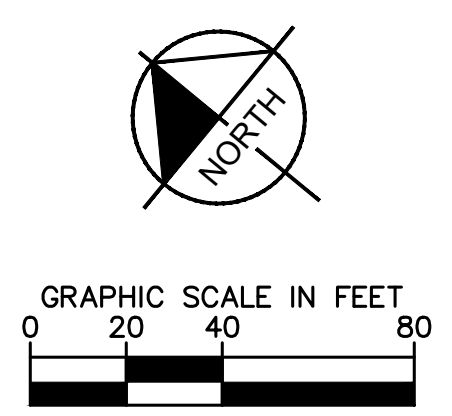
## ENLARGED GRADING AND DRAINAGE PLAN

### GRADING & STORMWATER NOTES

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF MEBANE STANDARD DETAILS AND SPECIFICATIONS.
- ALL SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE RIM ELEVATIONS SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.
- AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- TEMPORARY MATTING SHALL BE LOCATED ALONG ALL 3:1 SLOPES.
- CONTRACTOR TO FOLLOW THE MANUFACTURER'S RECOMMENDATIONS OR THE CITY OF MEBANE'S SPECIFICATIONS FOR HDPE BEDDING REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

### GRADING & STORMWATER NOTES

- SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY AND NCDOT INSPECTORS.
- CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.



**811**  
 Know what's below.  
 Call before you dig.

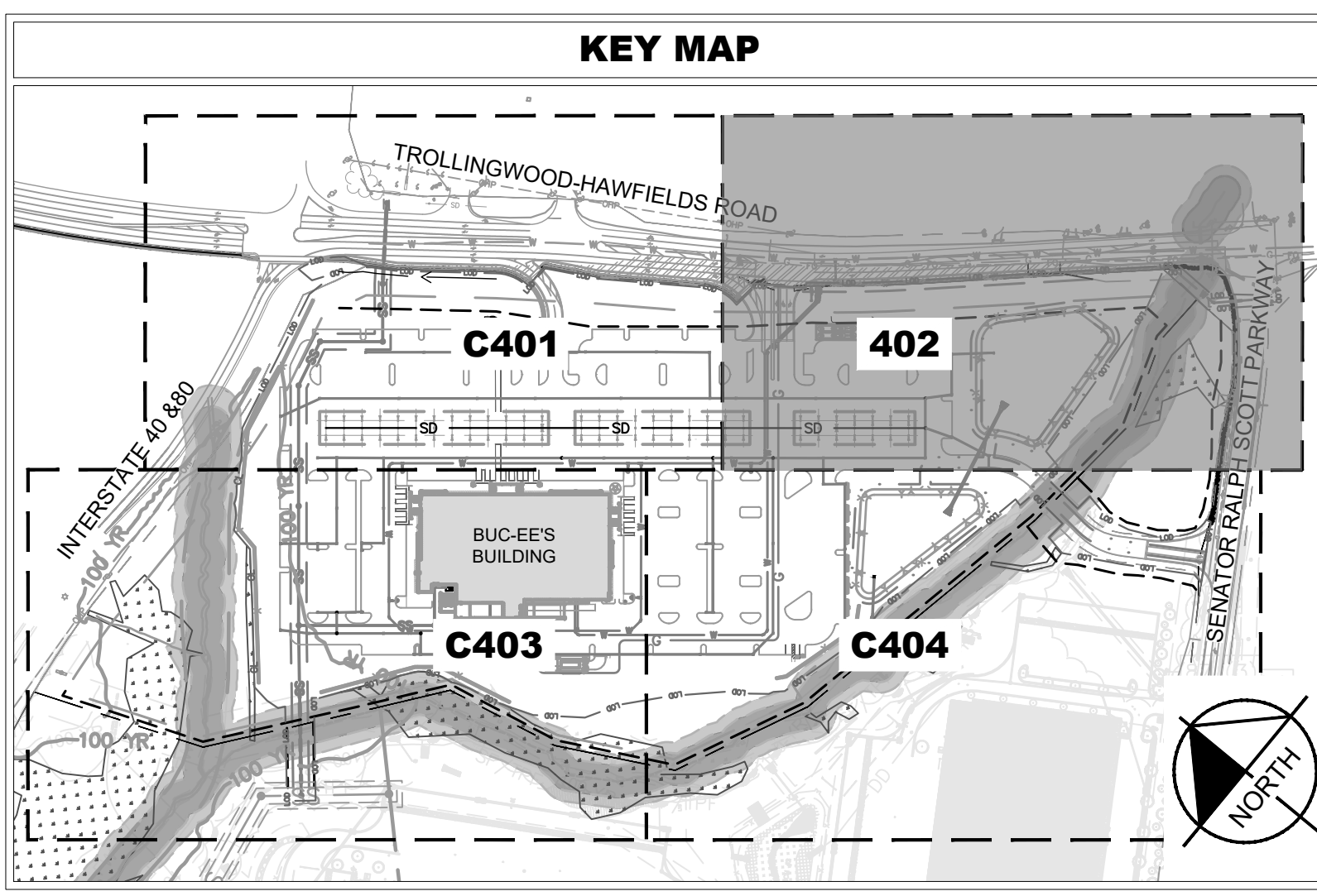
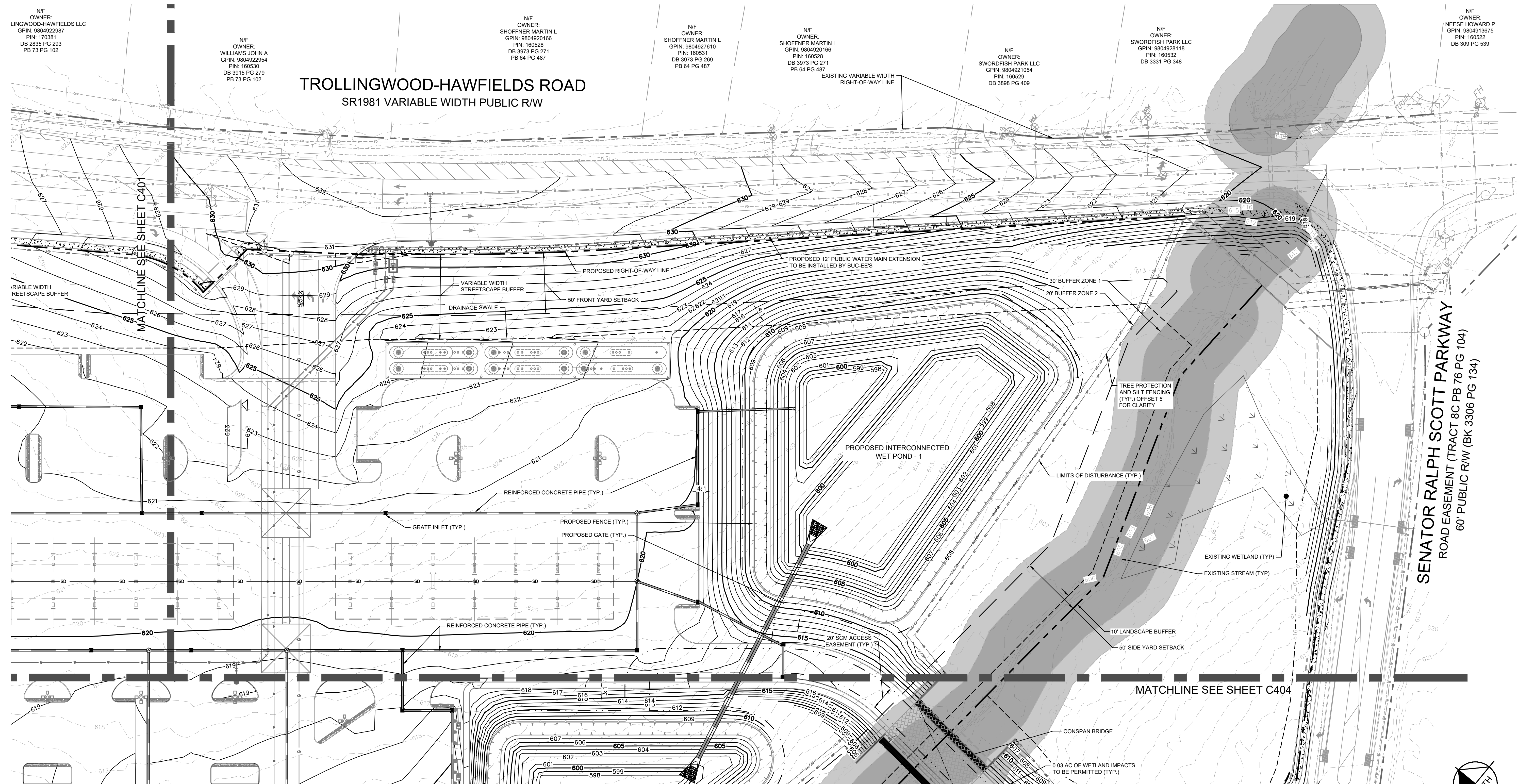
**GEOTECH NOTE:**  
 GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEFICENT OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

**BUC-EE'S MEBANE**  
 PREPARED FOR  
**BUC-EE'S LTD.**  
 MEBANE, NC

SHEET NUMBER  
**C401**

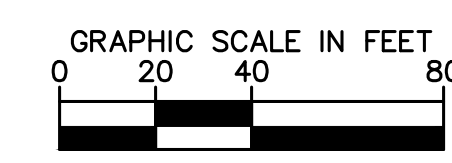
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any portion of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C402 ENLARGED GRADING AND DRAINAGE PLAN November 01, 2023 04:07:14pm K:\DUR\DOE\A\03284018 Bucees Mebane\08\_CAD Files\PlanSheets\SITEPLAN-80Scale\C401 ENLARGED GRADING AND DRAINAGE PLAN.dwg



	PROPERTY LINE
	LIMITS OF DISTURBANCE
	TREE PROTECTION AND SILT FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	STORM DRAIN (≥ 12 INCH)
	ROOF DRAIN
	STORM DRAIN (≤ 12 INCH)
	FLOW ARROW
	CATCH BASIN (CB)
	STORM MANHOLE (SMH)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	RIP-RAP APRON
	GRATE INLET
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.</li> <li>PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF MEBANE STANDARD DETAILS AND SPECIFICATIONS.</li> <li>ALL SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING &amp; COVERS. LIDS SHALL BE LABELED "STORM SEWER".</li> <li>STRUCTURE RIM ELEVATIONS SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.</li> <li>RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.</li> <li>AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.</li> <li>NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.</li> <li>TEMPORARY MATTING SHALL BE LOCATED ALONG ALL 3:1 SLOPES.</li> <li>CONTRACTOR TO FOLLOW THE MANUFACTURER'S RECOMMENDATIONS OR THE CITY OF MEBANE'S SPECIFICATIONS FOR HDPE BEDDING REQUIREMENTS, WHICHEVER IS MORE STRINGENT.</li> </ol> | <ol style="list-style-type: none"> <li>SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.</li> <li>PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.</li> <li>ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.</li> <li>SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.</li> <li>THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY AND NCDOT INSPECTORS.</li> <li>CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.</li> </ol> |
|---|--|

- |  |
|--|
| <ol style="list-style-type: none"> <li>SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.</li> <li>PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.</li> <li>ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.</li> <li>SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.</li> <li>THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY AND NCDOT INSPECTORS.</li> <li>CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.</li> </ol> |
|--|



**GEOTECH. NOTE:**  
 GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITH A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEFICIT OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

NF OWNER:  
 LINGWOOD-HAWFIELDS LLC  
 GPN: 9804922987  
 PIN: 170381  
 DB 2835 PG 293  
 PB 73 PG 102

NF OWNER:  
 WILLIAMS JOHN A  
 GPN: 9804922954  
 PIN: 160530  
 DB 3915 PG 279  
 PB 73 PG 102

NF OWNER:  
 SHOFFNER MARTIN L  
 GPN: 9804920186  
 PIN: 160528  
 DB 3973 PG 271  
 PB 64 PG 487

NF OWNER:  
 SHOFFNER MARTIN L  
 GPN: 9804927610  
 PIN: 160539  
 DB 3973 PG 271  
 PB 64 PG 487

NF OWNER:  
 SHOFFNER MARTIN L  
 GPN: 9804920186  
 PIN: 160539  
 DB 3973 PG 271  
 PB 64 PG 487

NF OWNER:  
 SWORDFISH PARK LLC  
 GPN: 9804921054  
 PIN: 160529  
 DB 3588 PG 409

NF OWNER:  
 SWORDFISH PARK LLC  
 GPN: 9804921118  
 PIN: 160532  
 DB 3331 PG 348

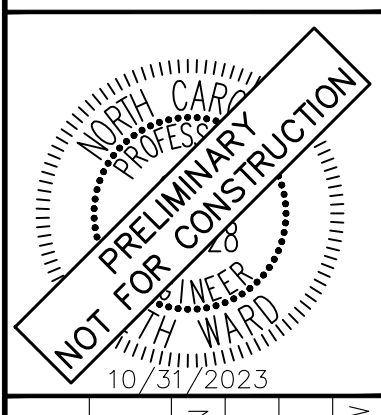
NF OWNER:  
 NEESE HOWARD P  
 GPN: 9804913675  
 PIN: 160522  
 DB 309 PG 539

**TROLLINGWOOD-HAWFIELDS ROAD**  
 SR1981 VARIABLE WIDTH PUBLIC R/W

**SENATOR RALPH SCOTT PARKWAY**  
 ROAD EASEMENT (TRACT 8C PB 76 PG 104)  
 60' PUBLIC R/W (BK 3306 PG 134)

No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley-Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # 0102



KHA PROJECT	013284018
DATE	10/31/2023
SCALE AS SHOWN	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

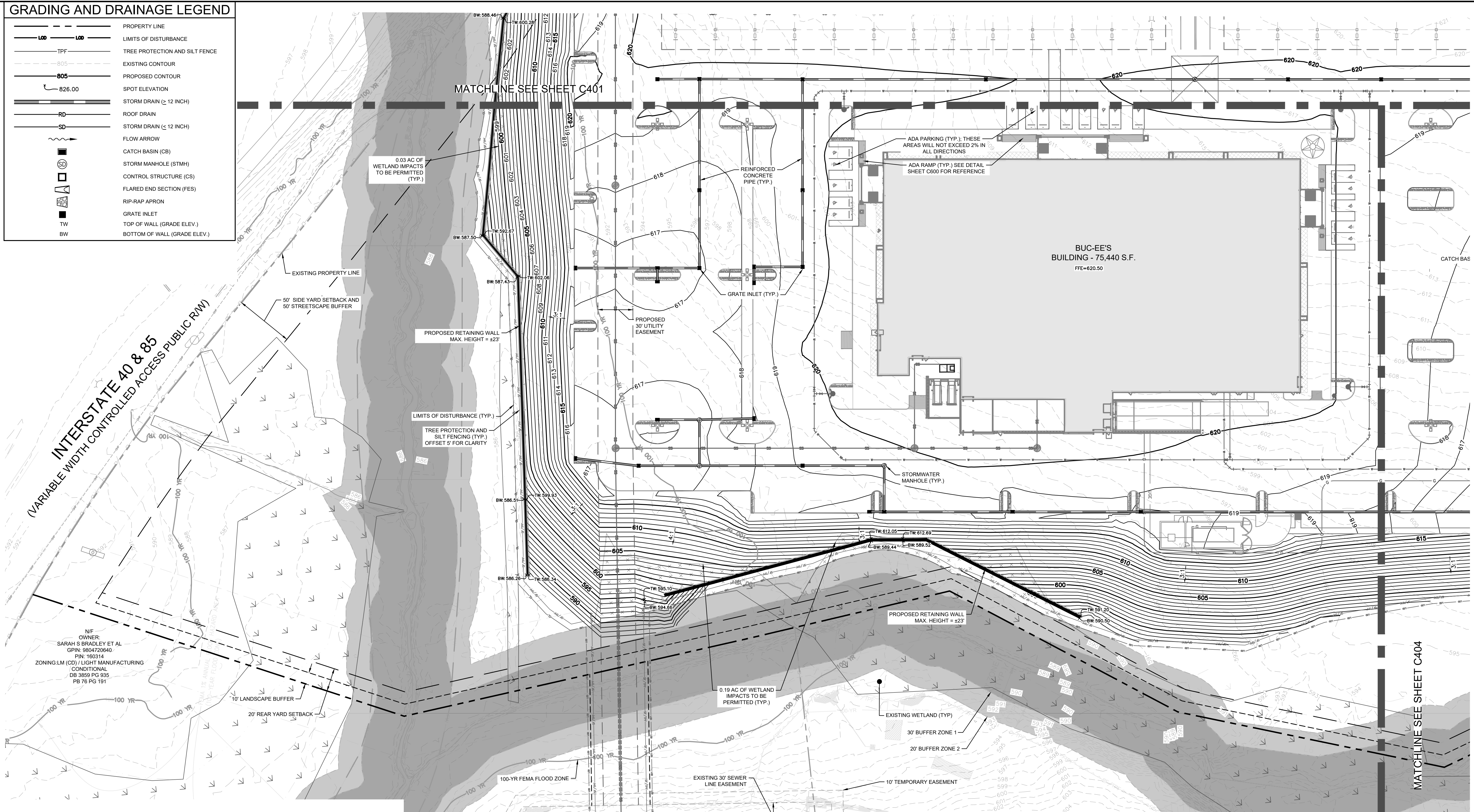
**ENLARGED GRADING AND DRAINAGE PLAN**

**BUC-EE'S MEBANE**  
 PREPARED FOR  
 BUC-EE'S LTD.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. K:\DUR\_LDE\11\01284018 Bucees Mebane\JOB\_CAD Files\PlanSheets\SITEPLAN-805scale\C401 ENLARGED GRADING AND DRAINAGE PLAN.dwg  
 Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C403 ENLARGED GRADING AND DRAINAGE PLAN November 01, 2023 04:07:39pm

**GRADING AND DRAINAGE LEGEND**

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- TREE PROTECTION AND SILT FENCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- STORM DRAIN (≥ 12 INCH)
- ROOF DRAIN
- STORM DRAIN (≤ 12 INCH)
- FLOW ARROW
- CATCH BASIN (CB)
- STORM MANHOLE (STMH)
- CONTROL STRUCTURE (CS)
- FLARED END SECTION (FES)
- RIP-RAP APRON
- GRATE INLET
- TOP OF WALL (GRADE ELEV.)
- BOTTOM OF WALL (GRADE ELEV.)

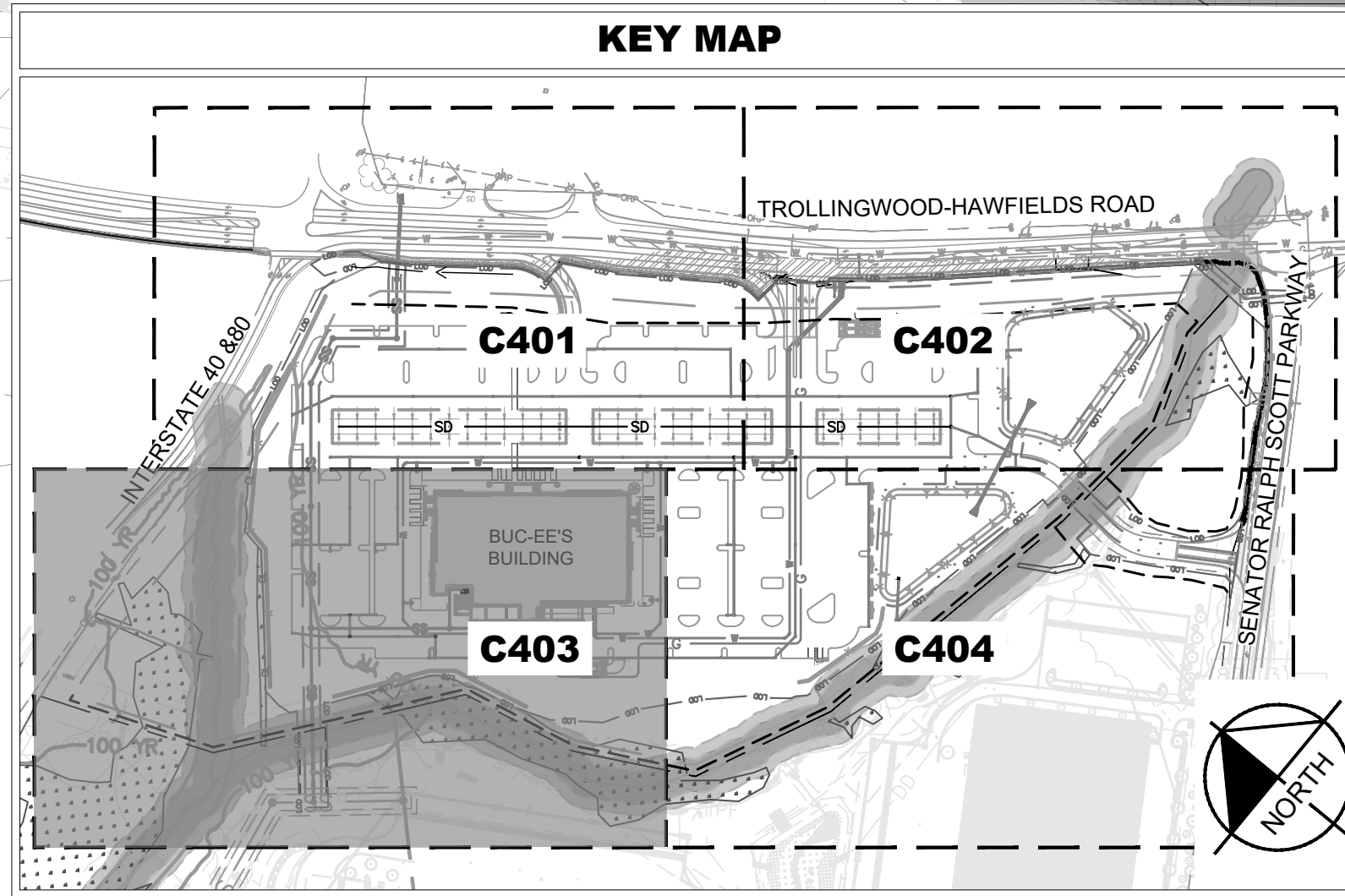


**GRADING & STORMWATER NOTES**

1. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
2. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF MEBANE STANDARD DETAILS AND SPECIFICATIONS.
3. ALL SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
4. STRUCTURE RIM ELEVATIONS SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
5. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.
6. AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
7. NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
8. TEMPORARY MATTING SHALL BE LOCATED ALONG ALL 3:1 SLOPES.
9. CONTRACTOR TO FOLLOW THE MANUFACTURER'S RECOMMENDATIONS OR THE CITY OF MEBANE'S SPECIFICATIONS FOR HDPE BEDDING REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

**GRADING & STORMWATER NOTES**

10. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
11. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
12. ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
13. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
14. THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY AND NCDOT INSPECTORS.
15. CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURB AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.



**811**  
Know what's below.  
Call before you dig.

**GRAPHIC SCALE IN FEET**  
0 20 40 80

**GEOTECH. NOTE:**  
GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITH A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/31/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPicted OR NOT PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

NO.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # - 0102



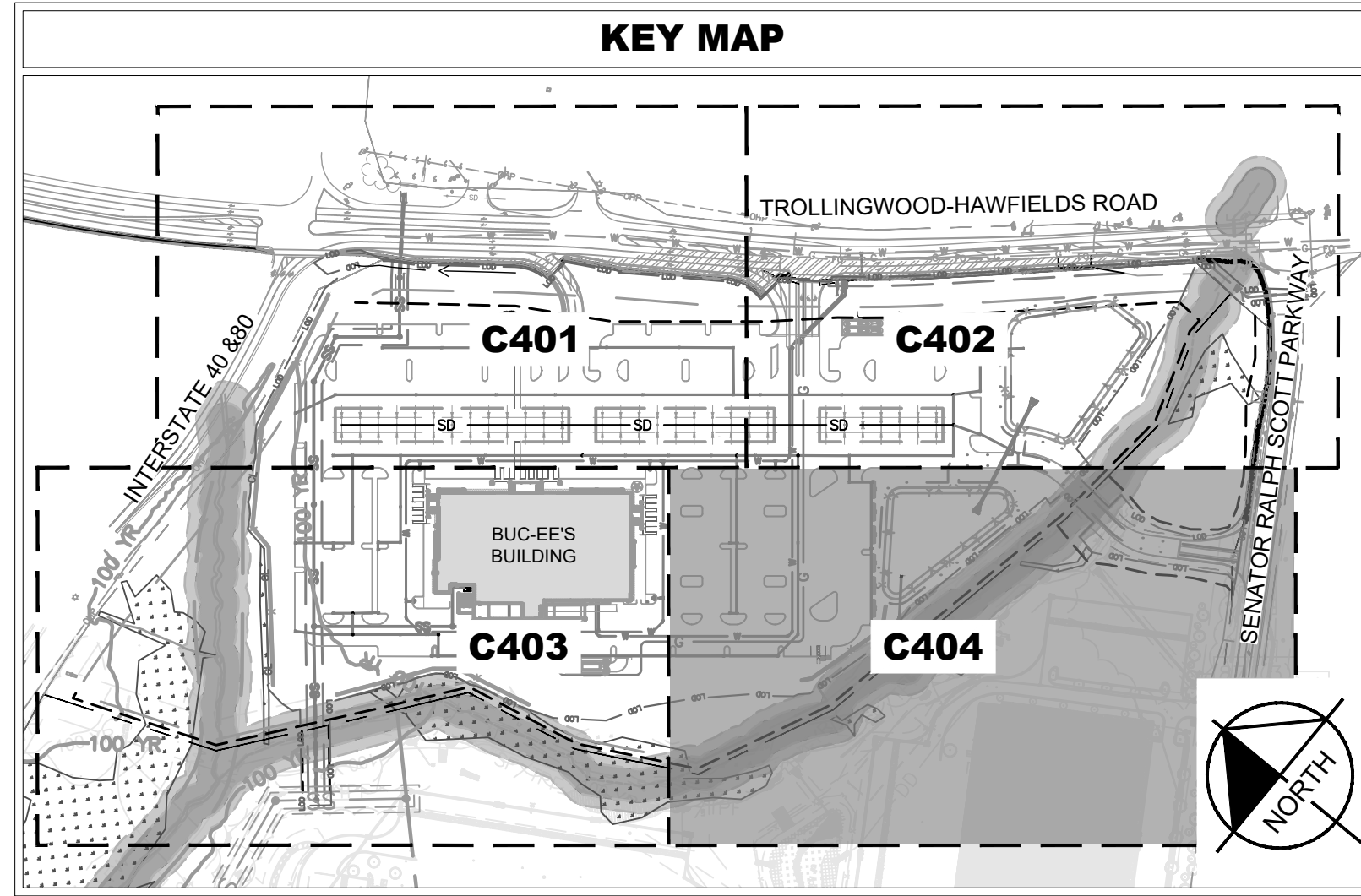
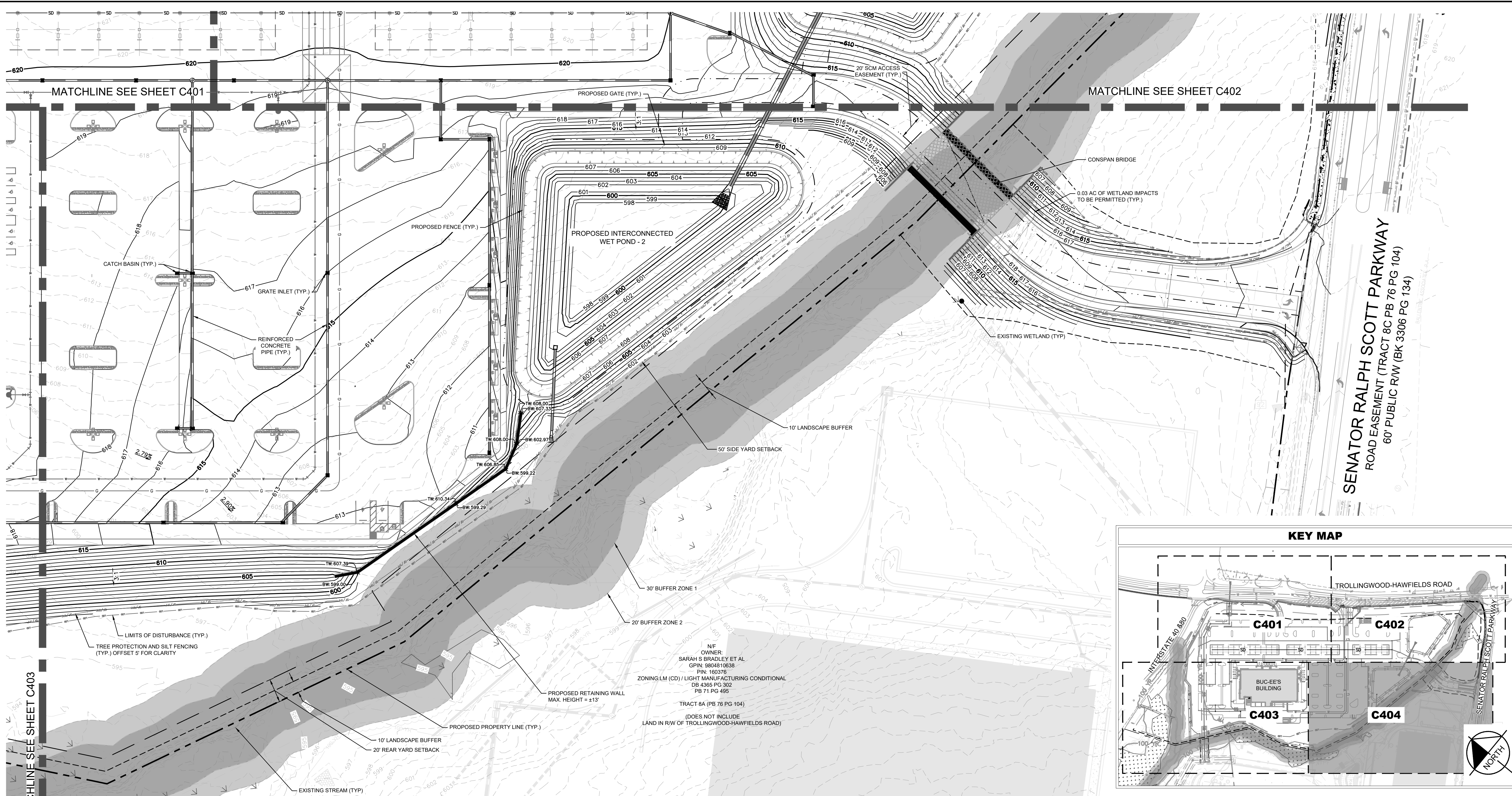
KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

**ENLARGED GRADING AND DRAINAGE PLAN**

**BUC-EE'S MEBANE**  
 PREPARED FOR  
**BUC-EE'S LTD.**

SHEET NUMBER  
**C403**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C404 ENLARGED GRADING AND DRAINAGE PLAN November 01, 2023 04:08:01pm K:\DUR\_LOE\013284018 BUC-EE'S MEBANE TRC\Drawings\013284018 BUC-EE'S MEBANE TRC\Drawings\013284018 ENLARGED GRADING AND DRAINAGE PLAN.dwg



GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	TREE PROTECTION AND SILT FENCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	STORM DRAIN (≥ 12 INCH)
	ROOF DRAIN
	STORM DRAIN (≤ 12 INCH)
	FLOW ARROW
	CATCH BASIN (CB)
	STORM MANHOLE (STMH)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	RIP-RAP APRON
	GRATE INLET
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)

**GRADING & STORMWATER NOTES**

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF MEBANE STANDARD DETAILS AND SPECIFICATIONS.
- ALL SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE RIM ELEVATIONS SHOWN HEREIN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.
- AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- TEMPORARY MATTING SHALL BE LOCATED ALONG ALL 3:1 SLOPES.
- CONTRACTOR TO FOLLOW THE MANUFACTURER'S RECOMMENDATIONS OR THE CITY OF MEBANE'S SPECIFICATIONS FOR HDPE BEDDING REQUIREMENTS, WHICHEVER IS MORE STRINGENT.

**GRADING & STORMWATER NOTES**

- SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE LOADING AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- THE PURPOSE OF THIS PLAN IS TO CONVEY DESIGN INTENT. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SLOPES TO ENSURE POSITIVE DRAINAGE IN THE FIELD AND IS RESPONSIBLE FOR ALL COORDINATION WITH THE CITY AND NCDOT INSPECTORS.
- CONTRACTOR TO ENSURE A SMOOTH GRADE IS MAINTAINED ALONG ALL NEW CURBS AND GUTTER AND SHALL ENSURE POSITIVE DRAINAGE ACROSS ALL PAVED AREAS.

**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE IN FEET  
0 20 40 80

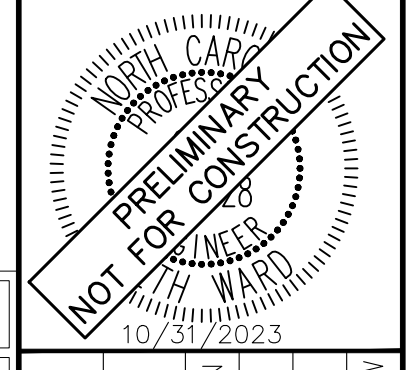
**GEOTECH. NOTE:**  
EXISTING GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON, 336-854-8135, DATED 06/12/2023.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEFICIT OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM # 0102



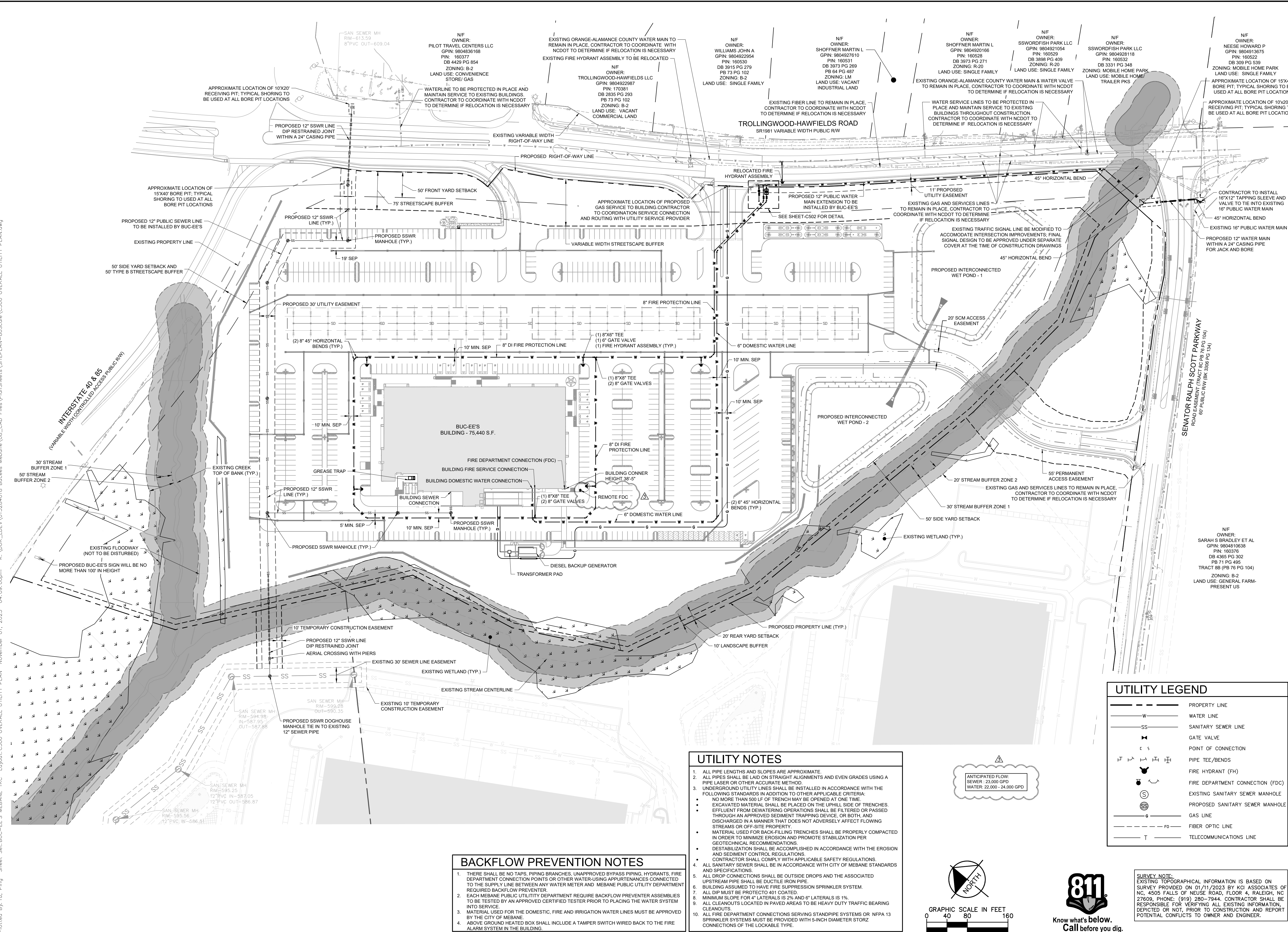
KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

**ENLARGED GRADING AND DRAINAGE PLAN**

**BUC-EE'S MEBANE**  
PREPARED FOR  
**BUC-EE'S LTD.**

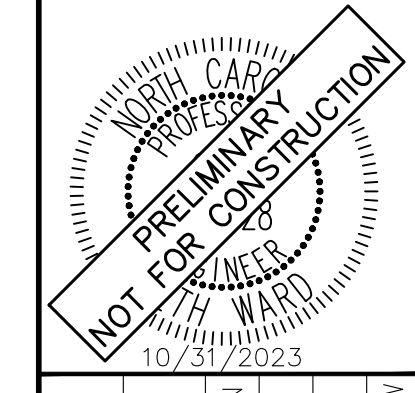
SHEET NUMBER  
**C404**

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any portion of this document without written authorization and/or adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



NO.	REVISIONS	DATE
03	REVISED PER 3RD TRC COMMENTS	10/31/23 PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23 WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23 WTL
00	INITIAL SUBMISSION	04/21/23 WTL

**Kimley-Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # 0102



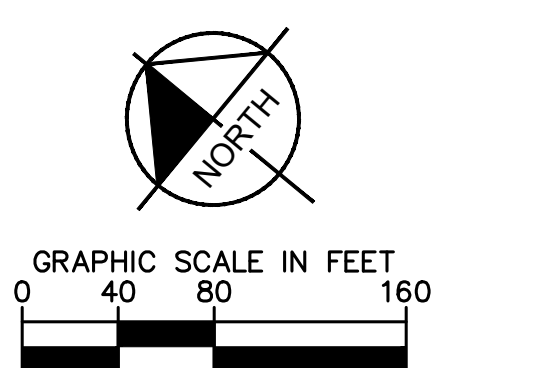
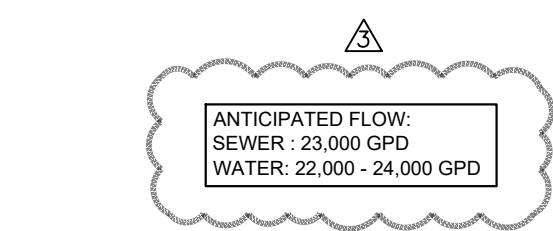
KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

**OVERALL UTILITY PLAN**  
 PREPARED FOR  
**BUC-EE'S MEABANE**  
**BUC-EE'S LTD.**

SHEET NUMBER  
**C500**

**BACKFLOW PREVENTION NOTES**  
 1. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND MEABANE PUBLIC UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER.  
 2. EACH MEABANE PUBLIC UTILITY DEPARTMENT REQUIRE BACKFLOW PREVENTER ASSEMBLIES TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.  
 3. MATERIAL USED FOR THE DOMESTIC, FIRE AND IRRIGATION WATER LINES MUST BE APPROVED BY THE CITY OF MEABANE.  
 4. ABOVE GROUND HEATED BOX SHALL INCLUDE A TAMPER SWITCH WIRED BACK TO THE FIRE ALARM SYSTEM IN THE BUILDING.

**UTILITY NOTES**  
 1. ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.  
 2. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.  
 3. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:  
 • NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.  
 • EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.  
 • EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.  
 • MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.  
 • DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.  
 • CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFETY REGULATIONS.  
 4. ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH CITY OF MEABANE STANDARDS AND SPECIFICATIONS.  
 5. ALL DROP CONNECTIONS SHALL BE OUTSIDE DROPS AND THE ASSOCIATED UPSTREAM PIPE SHALL BE DUCTILE IRON PIPE.  
 6. BUILDING ASSUMED TO HAVE FIRE SUPPRESSION SPRINKLER SYSTEM.  
 7. ALL DIP MUST BE PROTECTED 401 COATED.  
 8. MINIMUM SLOPE FOR 4" LATERALS IS 2% AND 6" LATERALS IS 1%.  
 9. ALL CLEANOUTS LOCATED IN PAVED AREAS TO BE HEAVY DUTY TRAFFIC BEARING CLEANOUTS.  
 10. ALL FIRE DEPARTMENT CONNECTIONS SERVING STANDPIPE SYSTEMS OR NFPA 13 SPRINKLER SYSTEMS MUST BE PROVIDED WITH 5-INCH DIAMETER STORZ CONNECTIONS OF THE LOCKABLE TYPE.



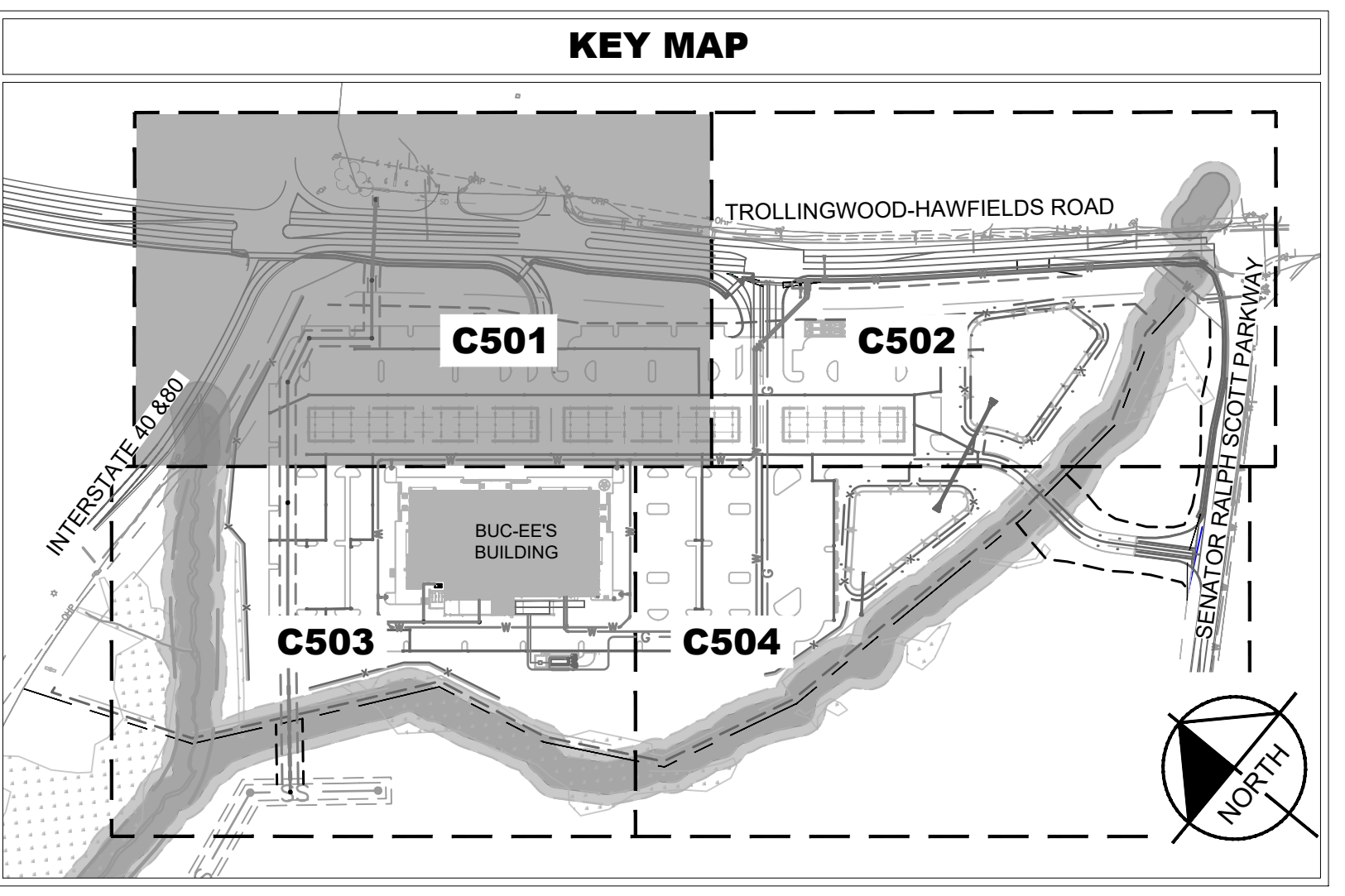
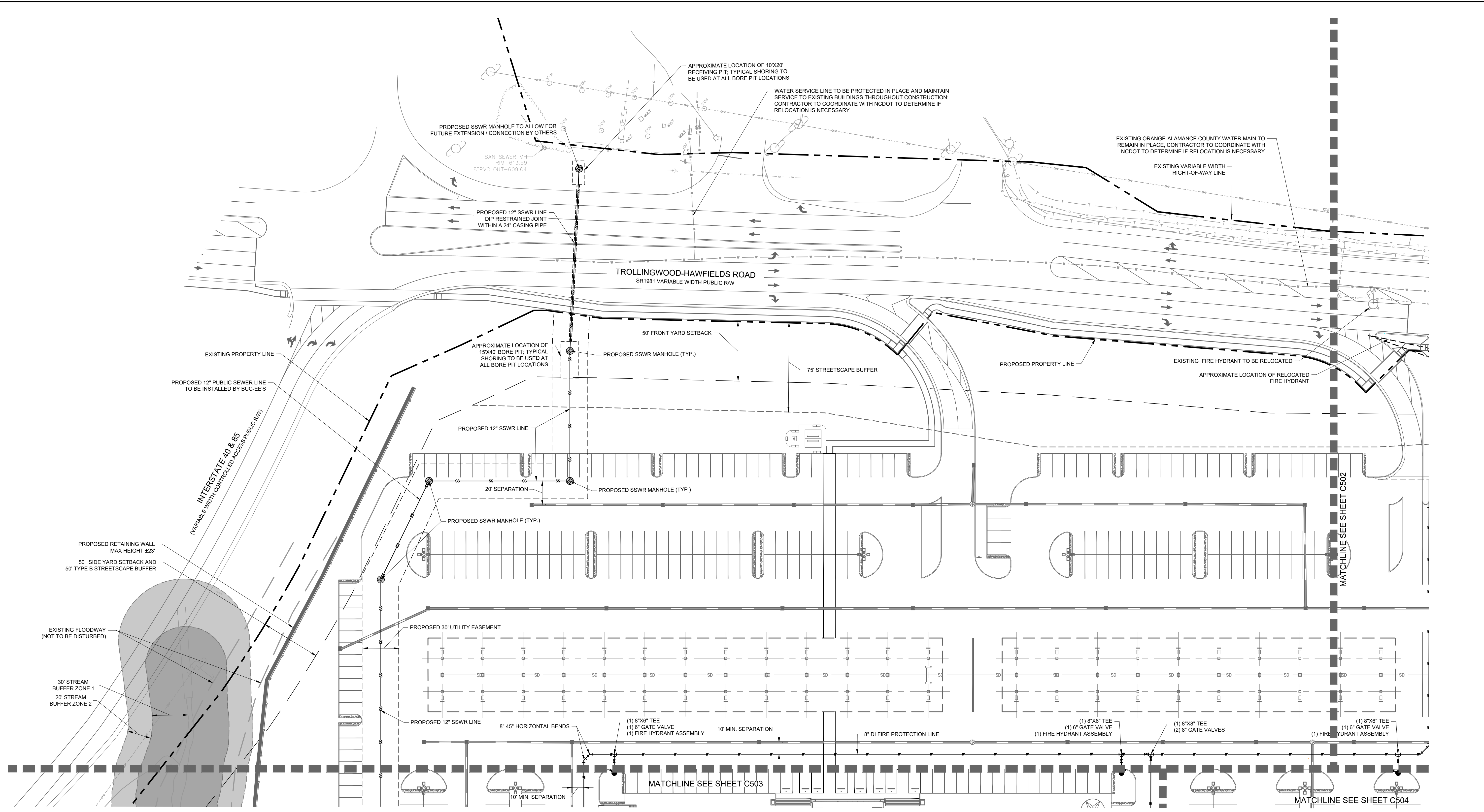
**UTILITY LEGEND**

---	PROPERTY LINE
—W—	WATER LINE
—SS—	SANITARY SEWER LINE
—X—	GATE VALVE
—C—	POINT OF CONNECTION
—P—	PIPE TEE/BENDS
—FH—	FIRE HYDRANT (FH)
—FDC—	FIRE DEPARTMENT CONNECTION (FDC)
—SM—	EXISTING SANITARY SEWER MANHOLE
—SS—	PROPOSED SANITARY SEWER MANHOLE
—G—	GAS LINE
—FO—	FIBER OPTIC LINE
—T—	TELECOMMUNICATIONS LINE

**811**  
 Know what's below.  
 Call before you dig.

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DELETED OR NOT PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

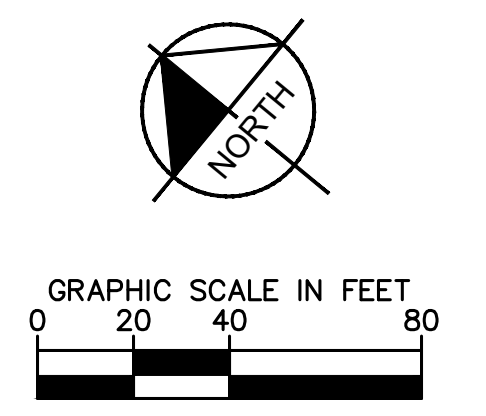
This document, together with the concepts and data presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C501 ENLARGED UTILITY PLAN November 01, 2023 04:10:02pm K:\OUR\_LDEV\01284018 Bucers Mebane\06\_CAD Files\PlanSheets\STEP\PLAN-805\c501 ENLARGED UTILITY PLAN.dwg



UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
SS	SANITARY SEWER LINE
+	GATE VALVE
+	POINT OF CONNECTION
+	PIPE TEE/BENDS
+	FIRE HYDRANT (FH)
+	FIRE DEPARTMENT CONNECTION (FDC)
+	EXISTING SANITARY SEWER MANHOLE
+	PROPOSED SANITARY SEWER MANHOLE
G	GAS LINE
FO	FIBER OPTIC LINE
T	TELECOMMUNICATIONS LINE

- ### UTILITY NOTES
- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
  - ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
  - UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
    - NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME
    - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES
    - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY
    - MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS
    - DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
  - CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFETY REGULATIONS.
  - ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
  - SANITARY SEWER LINES GREATER THAN 18 FEET DEEP SHALL BE DUCTILE IRON, HAVE MINIMUM 5-FOOT DIAMETER MANHOLES, AND THE CITY WILL REQUIRE PARALLEL AND/OR OVERSIZED SEWER LINES WITH WIDER EASEMENTS.
  - ALL DROP CONNECTIONS SHALL BE OUTSIDE DROPS AND THE ASSOCIATED UPSTREAM PIPE SHALL BE DUCTILE IRON PIPE.
  - BUILDING ASSUMED TO HAVE FIRE SUPPRESSION SPRINKLER SYSTEM.
  - ALL DIP MUST BE PROTECTO 401 COATED.
  - MINIMUM SLOPE FOR 4" LATERALS IS 2% AND 6" LATERALS IS 1%.
  - ALL CLEANOUTS LOCATED IN PAVED AREAS TO BE HEAVY DUTY TRAFFIC BEARING CLEANOUTS.
  - ALL FIRE DEPARTMENT CONNECTIONS SERVING STANDPIPE SYSTEMS OR NFPA 13 SPRINKLER SYSTEMS MUST BE PROVIDED WITH 5-INCH DIAMETER STORZ CONNECTIONS OF THE LOCKABLE TYPE.

- ### BACKFLOW PREVENTION NOTES
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND MEBANE PUBLIC UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER.
  - EACH MEBANE PUBLIC UTILITY DEPARTMENT REQUIRE BACKFLOW PREVENTER ASSEMBLIES TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
  - MATERIAL USED FOR THE DOMESTIC, FIRE AND IRRIGATION WATER LINES MUST BE APPROVED BY THE CITY OF MEBANE.
  - ABOVE GROUND HEATED BOX SHALL INCLUDE A TAMPER SWITCH WIRED BACK TO THE FIRE ALARM SYSTEM IN THE BUILDING.



**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley >>> Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM # 0102

**NOT FOR CONSTRUCTION**

PRELIMINARY

DATE: 10/31/2023

SCALE: AS SHOWN

DESIGNED BY: WTL

DRAWN BY: PY

CHECKED BY: SMW

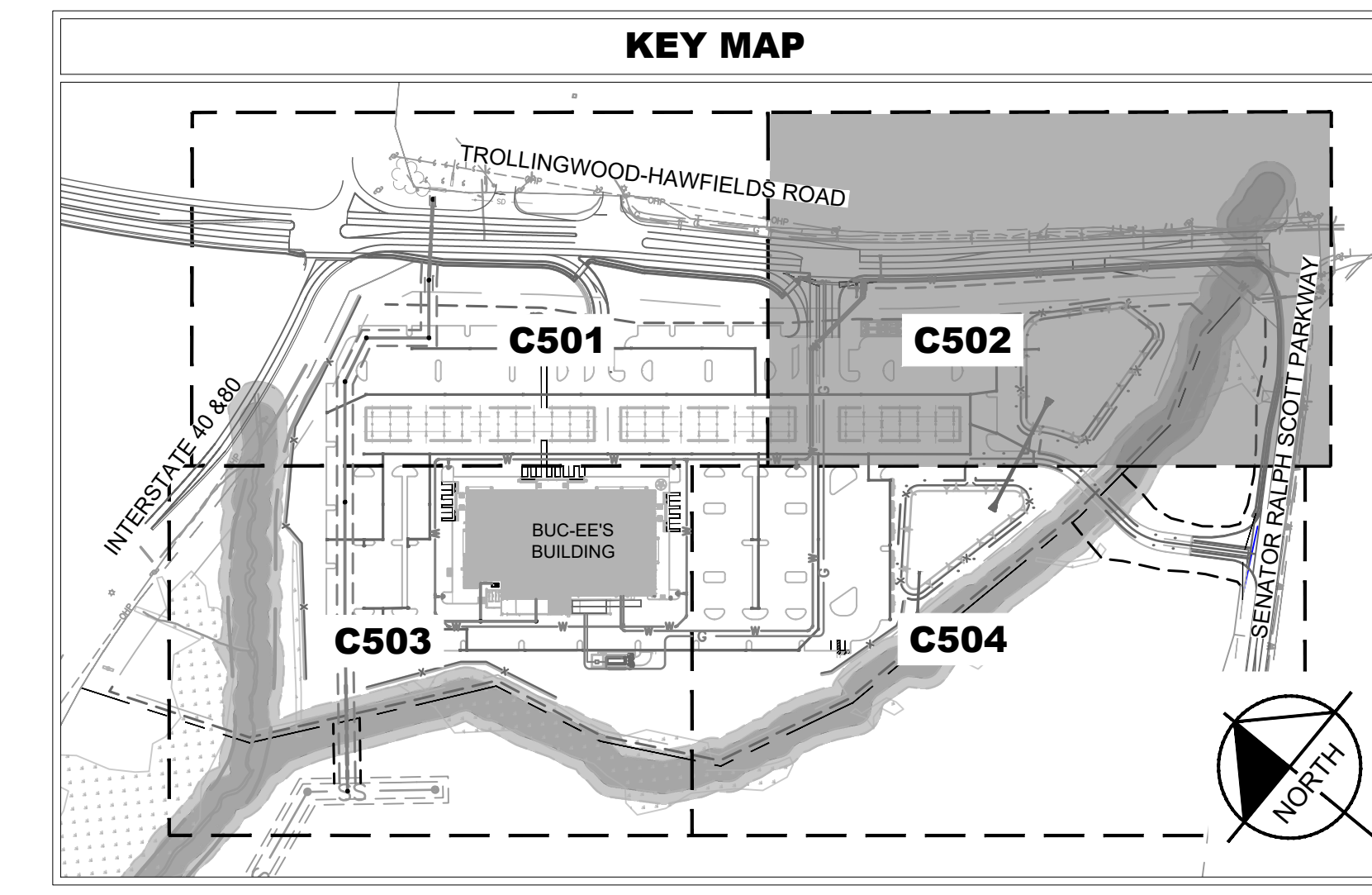
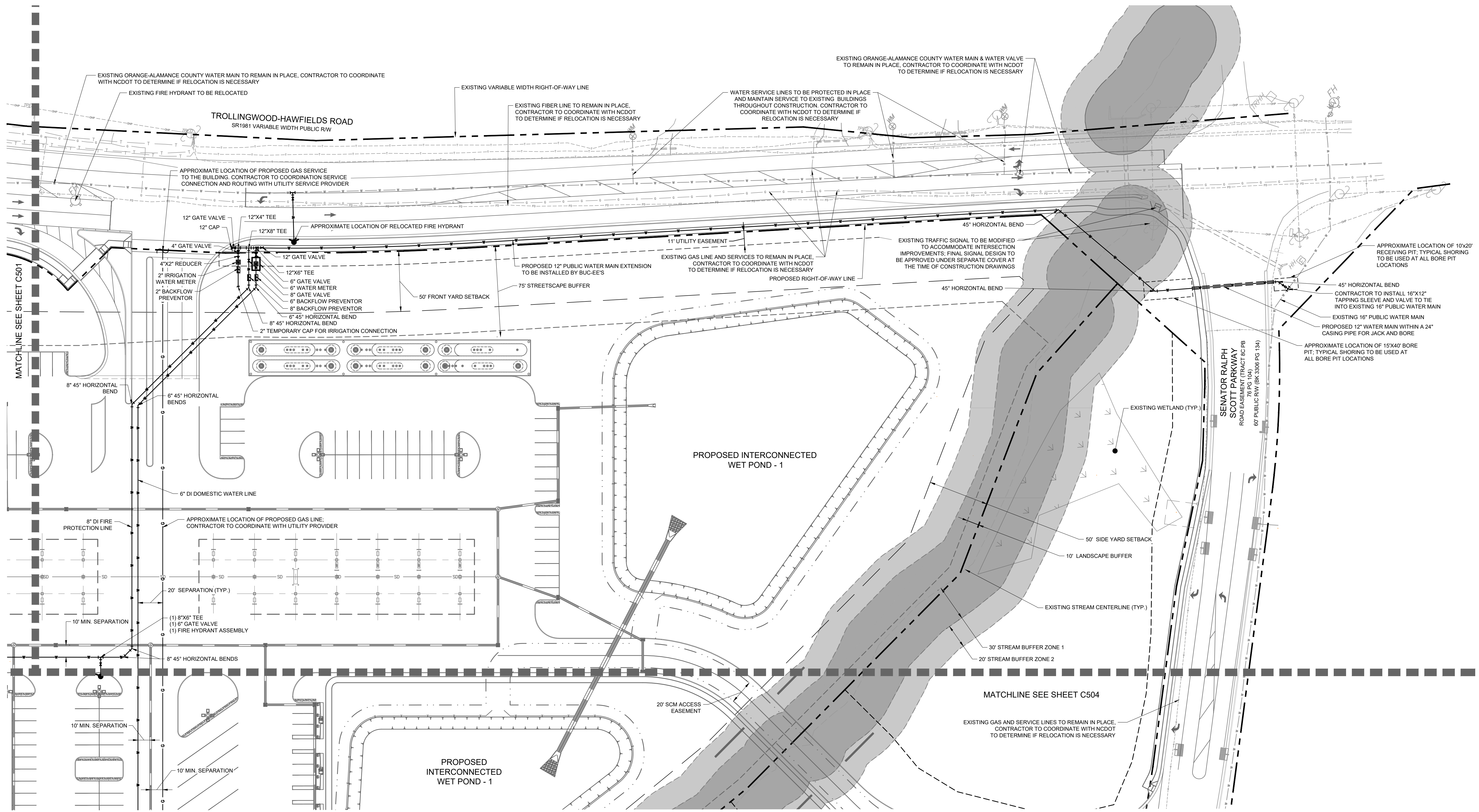
## ENLARGED UTILITY PLAN

**BUC-EE'S MEBANE**

PREPARED FOR  
**BUC-EE'S LTD.**

SHEET NUMBER  
**C501**

This document, together with the concepts and data presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C502 ENLARGED UTILITY PLAN November 01, 2023 04:10:18pm K:\OUR\_LDEV\013284018 BUC-EE'S MEBANE\06\_CAD Files\PlanSheets\STEP\PLAN-80Scale\C501 ENLARGED UTILITY PLAN.dwg



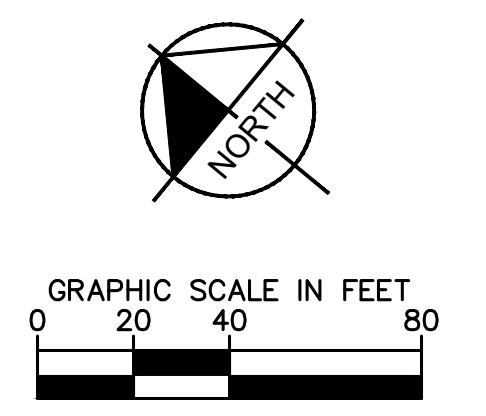
UTILITY LEGEND	
	PROPERTY LINE
	WATER LINE
	SANITARY SEWER LINE
	GATE VALVE
	POINT OF CONNECTION
	PIPE TEE/BENDS
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	GAS LINE
	FIBER OPTIC LINE
	TELECOMMUNICATIONS LINE

**BACKFLOW PREVENTION NOTES**

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND MEBANE PUBLIC UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- EACH MEBANE PUBLIC UTILITY DEPARTMENT REQUIRE BACKFLOW PREVENTER ASSEMBLIES TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- MATERIAL USED FOR THE DOMESTIC, FIRE AND IRRIGATION WATER LINES MUST BE APPROVED BY THE CITY OF MEBANE.
- ABOVE GROUND HEATED BOX SHALL INCLUDE A TAMPER SWITCH WIRED BACK TO THE FIRE ALARM SYSTEM IN THE BUILDING.

**UTILITY NOTES**

- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
  - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
  - MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.
  - DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
  - CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFETY REGULATIONS.
- ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
- ALL DROP CONNECTIONS SHALL BE OUTSIDE DROPS AND THE ASSOCIATED UPSTREAM PIPE SHALL BE DUCTILE IRON PIPE.
- BUILDING ASSUMED TO HAVE FIRE SUPPRESSION SPRINKLER SYSTEM.
- ALL DIP MUST BE PROTECTED TO 401 COATED.
- MINIMUM SLOPE FOR 4" LATERALS IS 2% AND 6" LATERALS IS 1%.
- ALL CLEANOUTS LOCATED IN PAVED AREAS TO HAVE HEAVY DUTY TRAFFIC BEARING CLEANOUTS.
- ALL FIRE DEPARTMENT CONNECTIONS SERVING STANDPIPE SYSTEMS OR NFPA 13 SPRINKLER SYSTEMS MUST BE PROVIDED WITH 5-INCH DIAMETER STORZ CONNECTIONS OF THE LOCKABLE TYPE.



**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KO ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

No.	REVISIONS	DATE
03	REVISED PER 3RD TRC COMMENTS	10/31/23 PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23 WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23 WTL
00	INITIAL SUBMISSION	04/21/23 WTL

**Kimley-Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM #012

**NOT FOR CONSTRUCTION**

DATE: 10/31/2023  
 SCALE: AS SHOWN  
 DESIGNED BY: WTL  
 DRAWN BY: PY  
 CHECKED BY: SMW

**ENLARGED UTILITY PLAN**

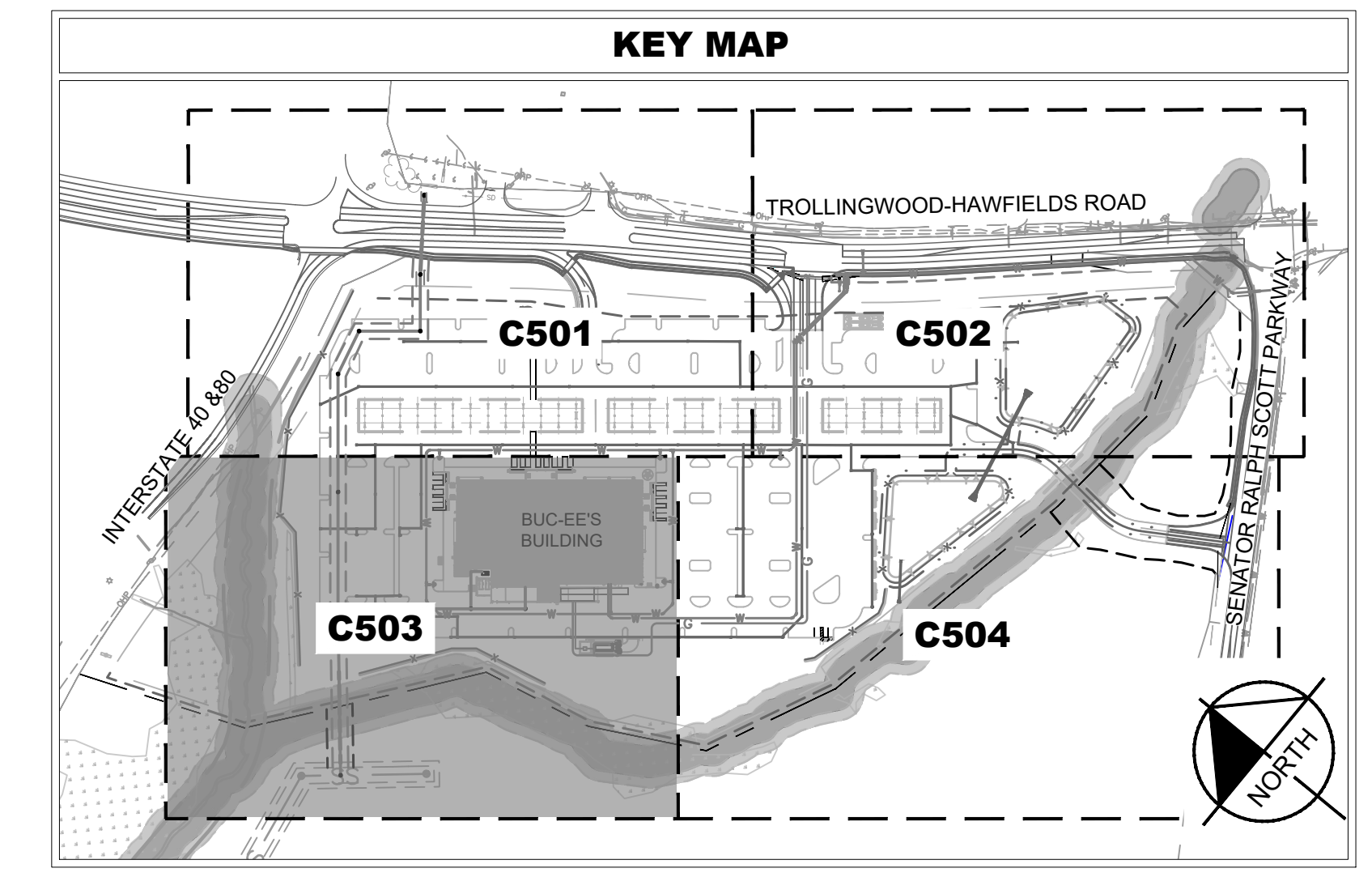
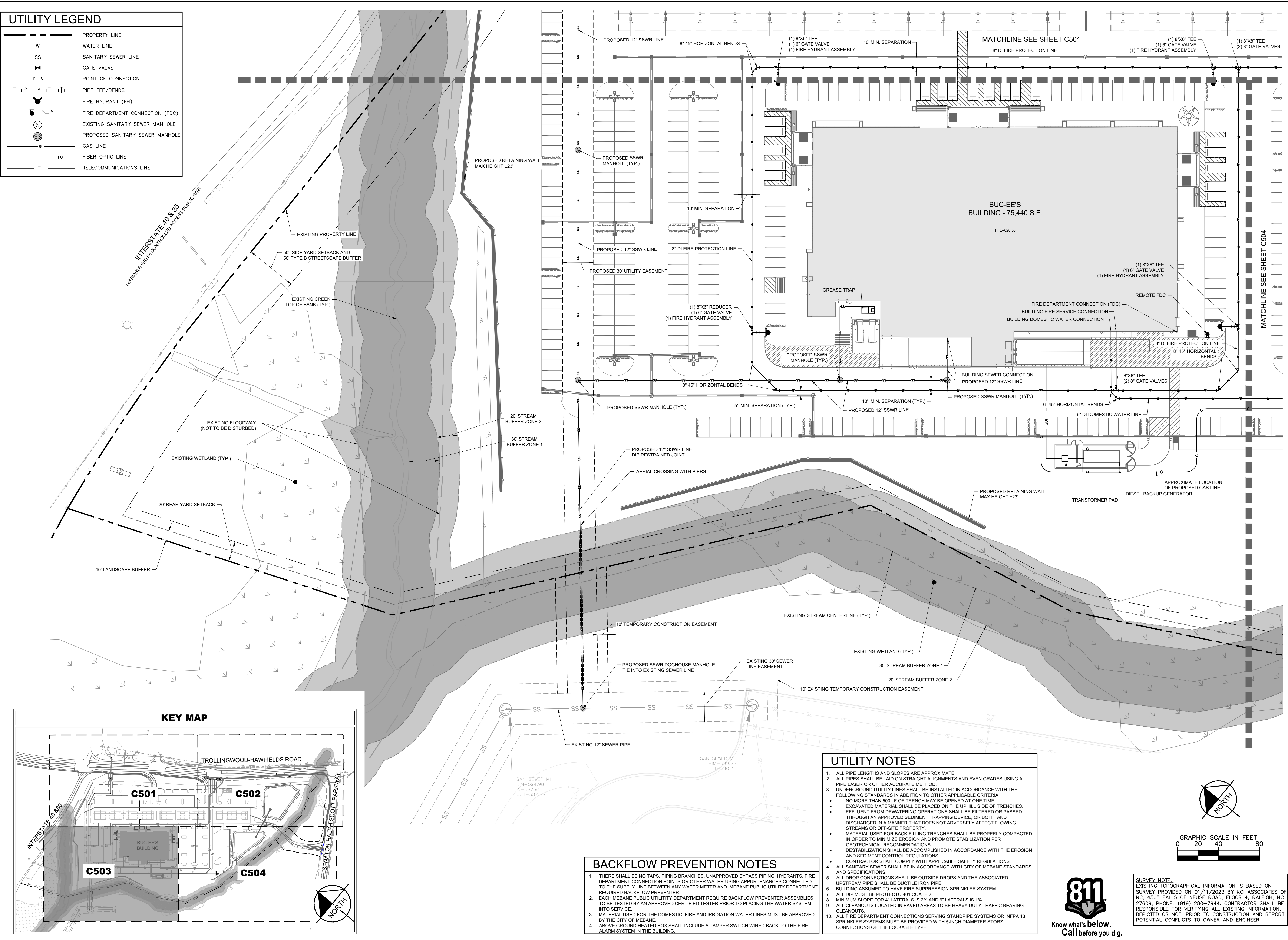
**BUC-EE'S MEBANE**  
 PREPARED FOR  
 BUC-EE'S LTD.

SHEET NUMBER  
**C502**

MEBANE, NC

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C503 ENLARGED UTILITY PLAN November 01, 2023 04:10:38pm K:\OUR\_LDEV\013284018 Bucees Mebane\08\_CAD Files\PlanSheets\SITEPLAN-805scale\C503 ENLARGED UTILITY PLAN.dwg

UTILITY LEGEND	
	PROPERTY LINE
	WATER LINE
	SANITARY SEWER LINE
	GATE VALVE
	POINT OF CONNECTION
	PIPE TEE/BENDS
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	GAS LINE
	FIBER OPTIC LINE
	TELECOMMUNICATIONS LINE

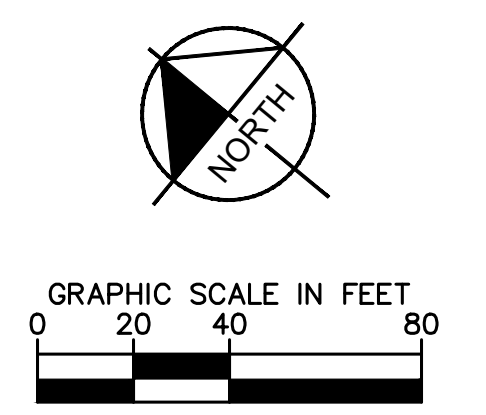


**BACKFLOW PREVENTION NOTES**

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USE APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND MEBANE PUBLIC UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- EACH MEBANE PUBLIC UTILITY DEPARTMENT REQUIRE BACKFLOW PREVENTER ASSEMBLIES TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- MATERIAL USED FOR THE DOMESTIC, FIRE AND IRRIGATION WATER LINES MUST BE APPROVED BY THE CITY OF MEBANE.
- ABOVE GROUND HEATED BOX SHALL INCLUDE A TAMPER SWITCH WIRED BACK TO THE FIRE ALARM SYSTEM IN THE BUILDING.

**UTILITY NOTES**

- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
  - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.
- DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFETY REGULATIONS.
- ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
- ALL DROP CONNECTIONS SHALL BE OUTSIDE DROPS AND THE ASSOCIATED UPSTREAM PIPE SHALL BE DUCTILE IRON PIPE.
- BUILDING ASSUMED TO HAVE FIRE SUPPRESSION SPRINKLER SYSTEM.
- ALL DIP MUST BE PROTECTED TO 401 COATED.
- MINIMUM SLOPE FOR 4" LATERALS IS 2% AND 6" LATERALS IS 1%.
- ALL CLEANOUTS LOCATED IN PAVED AREAS TO BE HEAVY DUTY TRAFFIC BEARING CLEANOUTS.
- ALL FIRE DEPARTMENT CONNECTIONS SERVING STANDPIPE SYSTEMS OR NFPA 13 SPRINKLER SYSTEMS MUST BE PROVIDED WITH 5-INCH DIAMETER STORZ CONNECTIONS OF THE LOCKABLE TYPE.



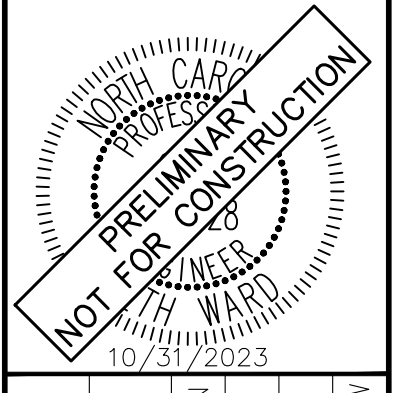
**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOJ ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



NO.	REVISIONS	DATE
03	REVISED PER 3RD TRC COMMENTS	10/31/23 PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23 WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23 WTL
00	INITIAL SUBMISSION	04/21/23 WTL

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM #0102



KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

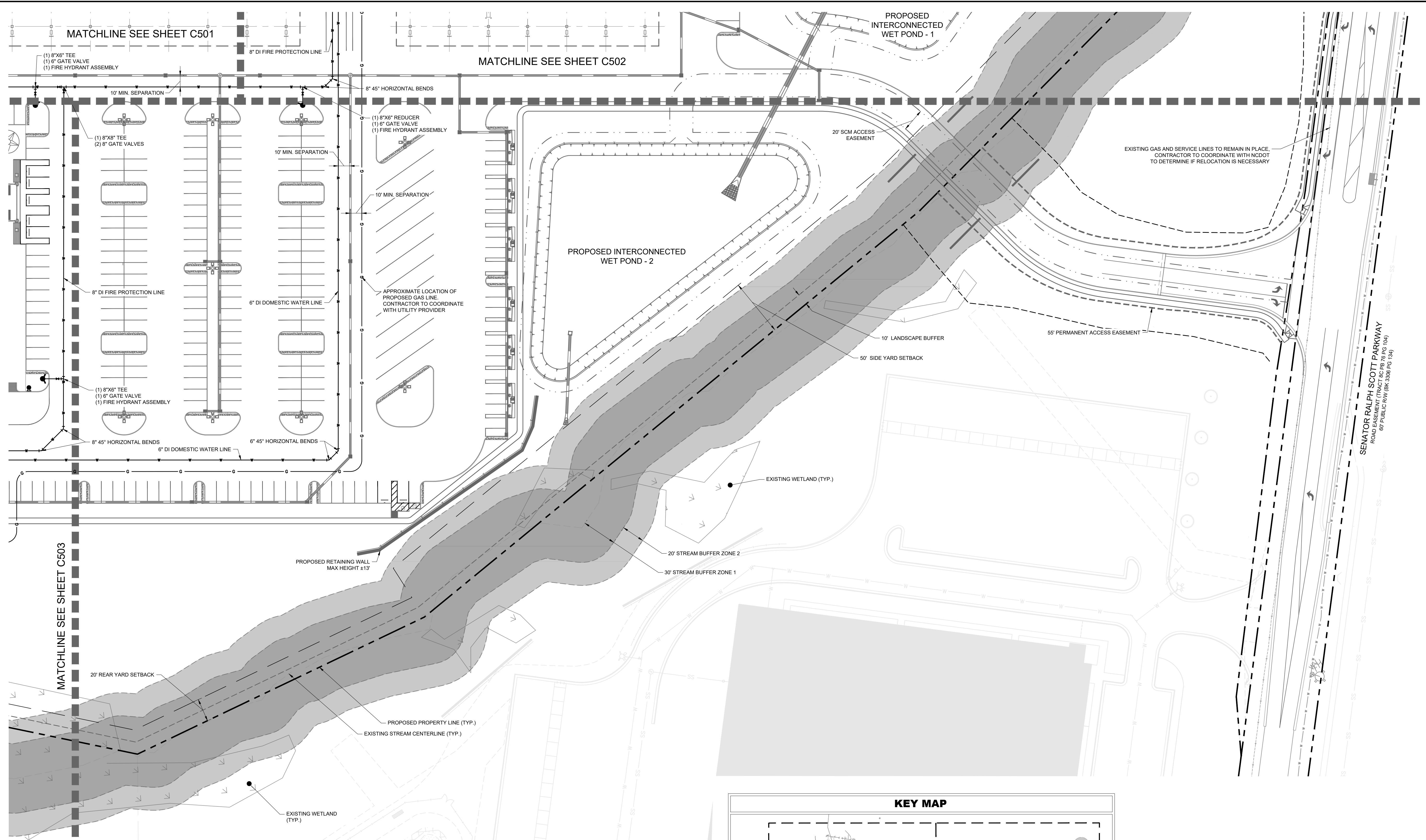
**ENLARGED UTILITY PLAN**

**BUC-EE'S MEBANE**  
 PREPARED FOR  
**BUC-EE'S LTD.**

SHEET NUMBER  
**C503**



This document, together with the concepts and data presented herein, is intended only for the specific purpose and client for which it was prepared. It is not to be used for any other purpose without the written authorization and approval of Kimley-Horn and Associates, Inc. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.



**BACKFLOW PREVENTION NOTES**

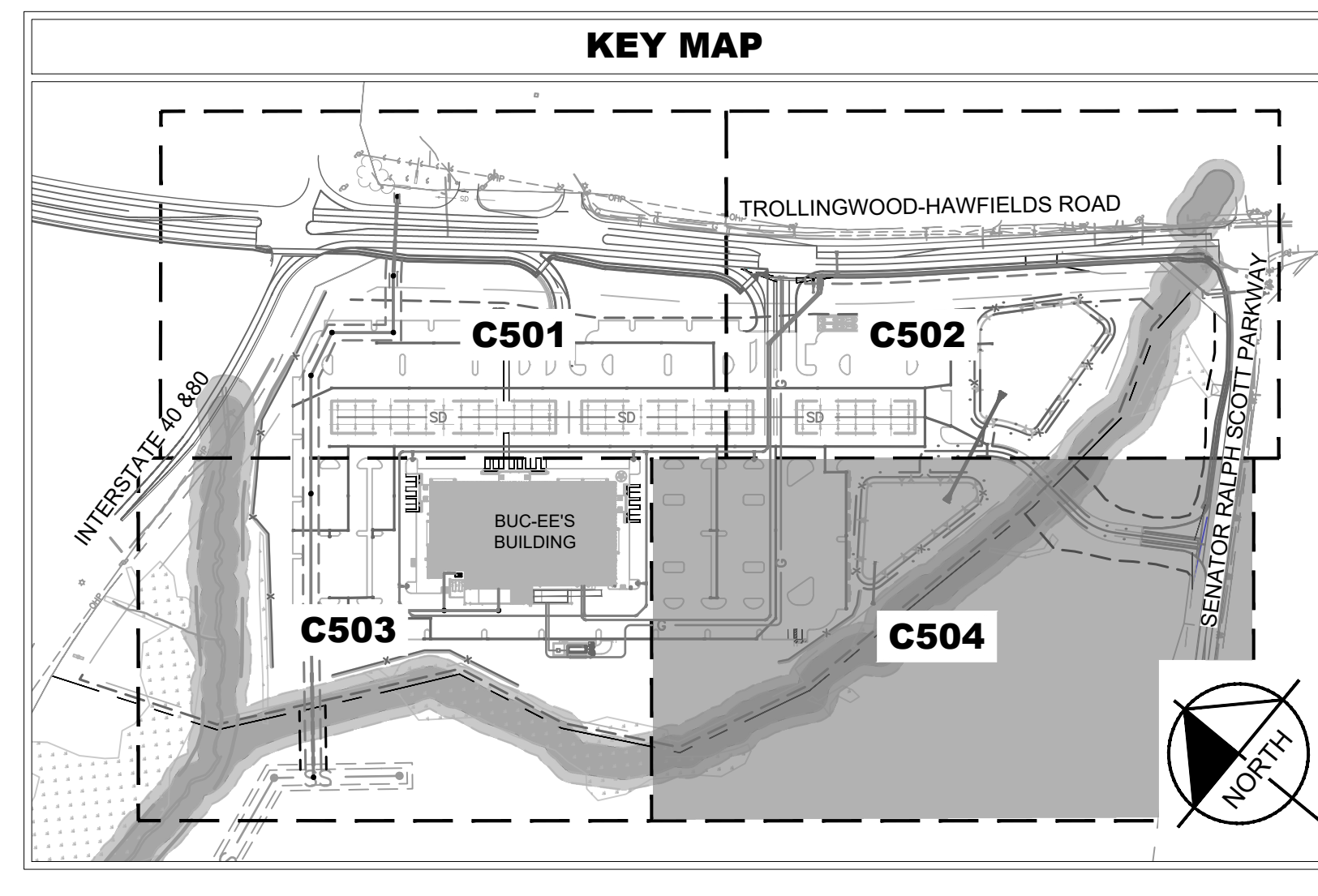
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USE APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND MEBANE PUBLIC UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- EACH MEBANE PUBLIC UTILITY DEPARTMENT REQUIRE BACKFLOW PREVENTER ASSEMBLIES TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- MATERIAL USED FOR THE DOMESTIC, FIRE AND IRRIGATION WATER LINES MUST BE APPROVED BY THE CITY OF MEBANE.
- ABOVE GROUND HEATED BOX SHALL INCLUDE A TAMPER SWITCH WIRED BACK TO THE FIRE ALARM SYSTEM IN THE BUILDING.

**UTILITY NOTES**

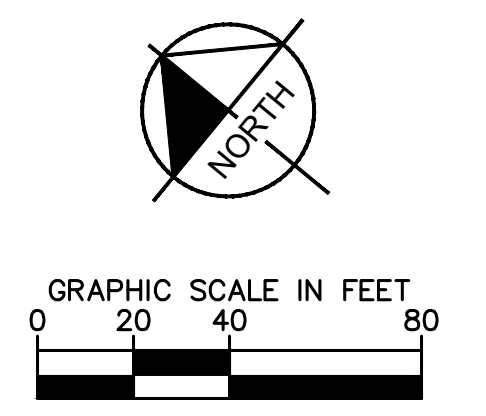
- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
  - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
  - MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.
  - DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
  - CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFETY REGULATIONS.
- ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH CITY OF MEBANE STANDARDS AND SPECIFICATIONS.
- ALL DROP CONNECTIONS SHALL BE OUTSIDE DROPS AND THE ASSOCIATED UPSTREAM PIPE SHALL BE DUCTILE IRON PIPE.
- BUILDING ASSUMED TO HAVE FIRE SUPPRESSION SPRINKLER SYSTEM.
- ALL DIP MUST BE PROTECTO 401 COATED.
- MINIMUM SLOPE FOR 4" LATERALS IS 2% AND 6" LATERALS IS 1%.
- ALL CLEANOUTS LOCATED IN PAVED AREAS TO BE HEAVY DUTY TRAFFIC BEARING CLEANOUTS.
- ALL FIRE DEPARTMENT CONNECTIONS SERVING STANDPIPE SYSTEMS OR NFPA 13 SPRINKLER SYSTEMS MUST BE PROVIDED WITH 5-INCH DIAMETER STORZ CONNECTIONS OF THE LOCKABLE TYPE.

**UTILITY LEGEND**

	PROPERTY LINE
	WATER LINE
	SANITARY SEWER LINE
	GATE VALVE
	POINT OF CONNECTION
	PIPE TEE/BENDS
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	GAS LINE
	FIBER OPTIC LINE
	TELECOMMUNICATIONS LINE

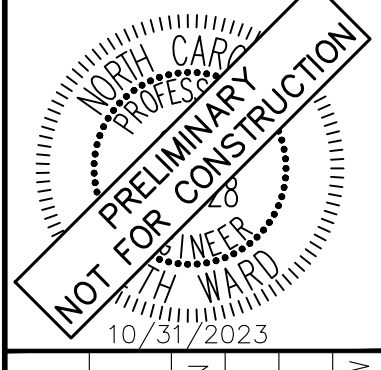


**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON SURVEY PROVIDED ON 01/11/2023 BY KOI ASSOCIATES OF NC, 4505 FALLS OF NEUSE ROAD, FLOOR 4, RALEIGH, NC 27609, PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



No.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley-Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
 PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
 NC FIRM #012



KHA PROJECT	013284018
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	WTL
DRAWN BY	PY
CHECKED BY	SMW

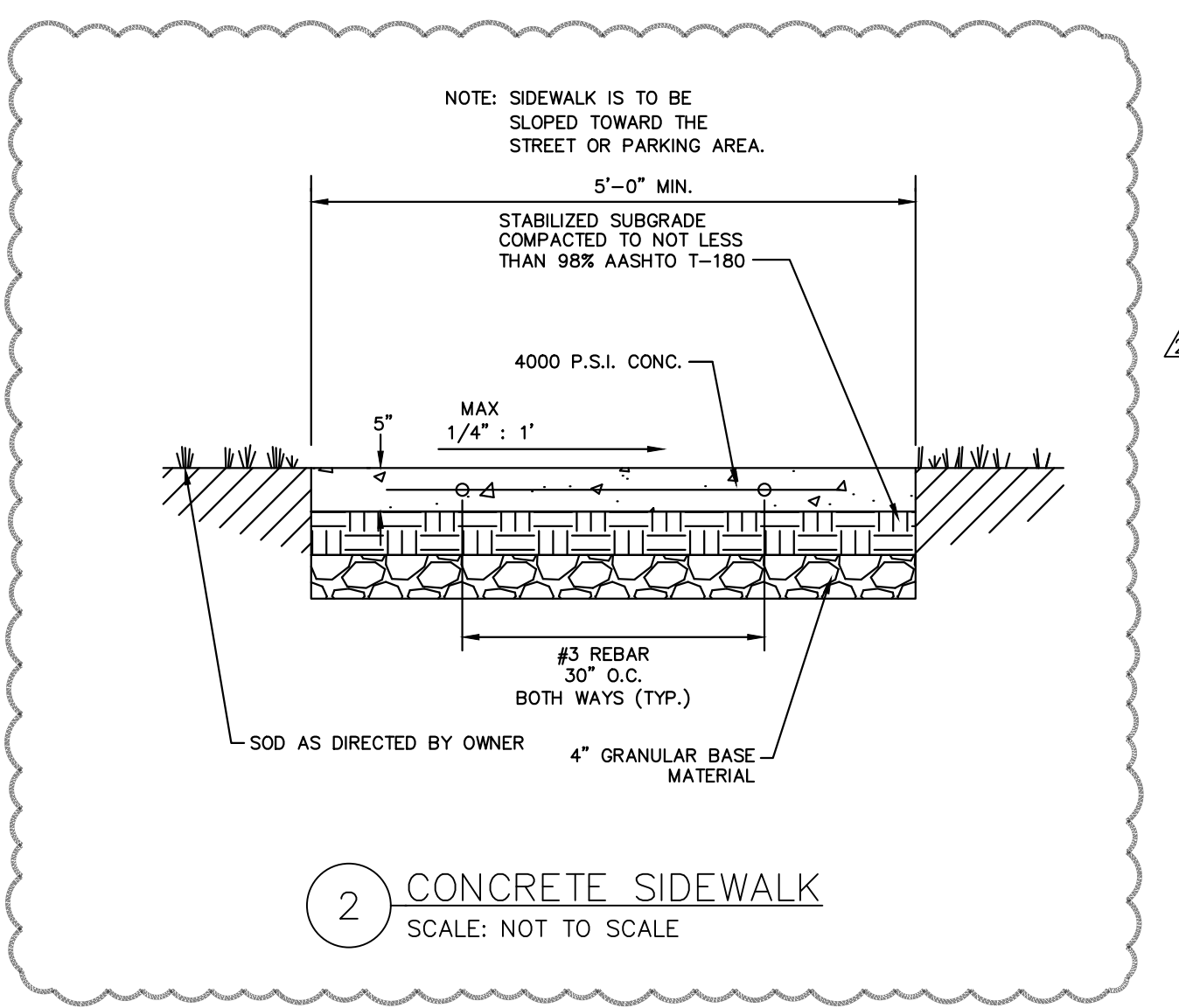
**ENLARGED UTILITY PLAN**

**BUC-EE'S MEBANE**  
 PREPARED FOR  
**BUC-EE'S LTD.**  
 SHEET NUMBER  
**C504**

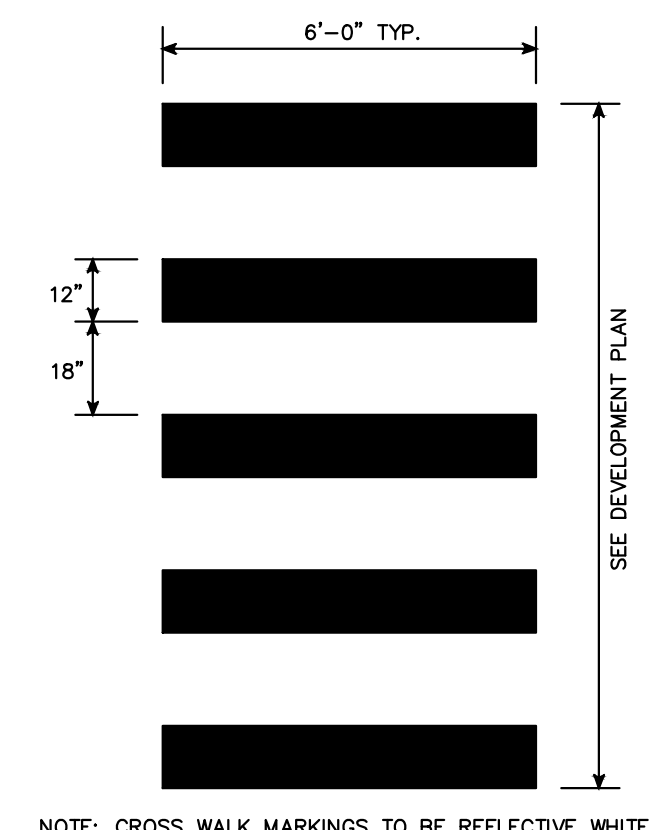
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. K:\DUR\_LOE\013284018 Buces Mebane 08\_CAD\_Files\PlanSheets\C800 SITE DETAILS.dwg Plotted By: Yu, Ping Sheet Set: BUC-EE'S MEBANE TRC Layout: C800 SITE DETAILS November 01, 2023 04:11:18pm



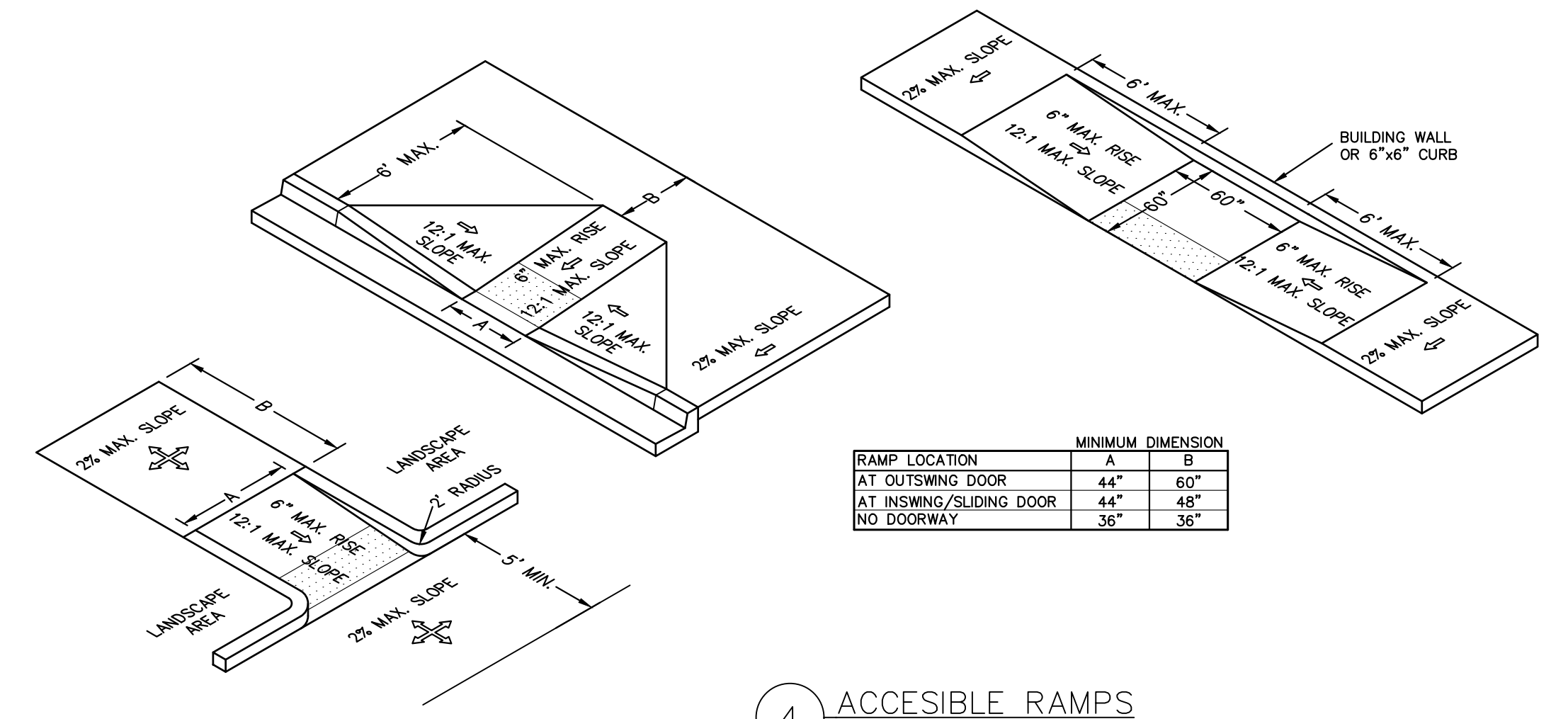
**1 WHEEL STOP**  
SCALE: NOT TO SCALE



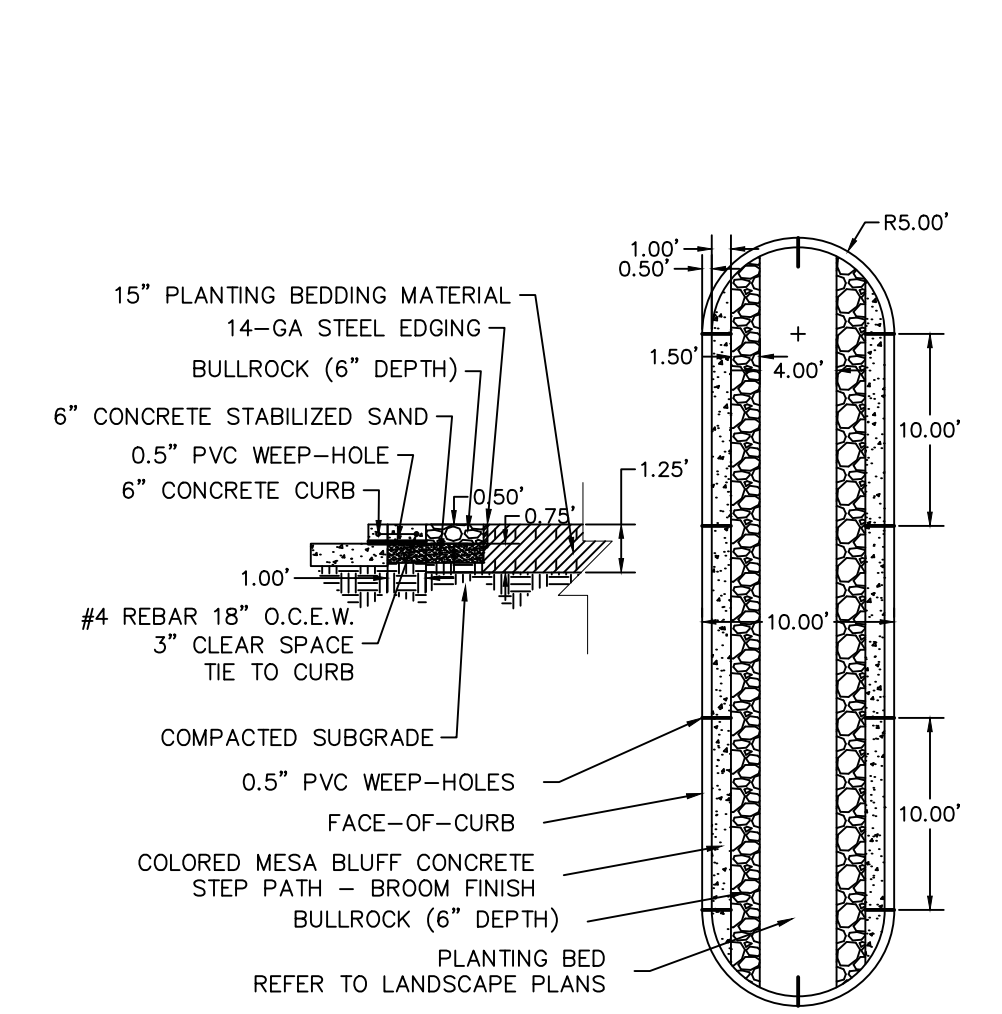
**2 CONCRETE SIDEWALK**  
SCALE: NOT TO SCALE



**3 CROSS WALK**  
SCALE: NOT TO SCALE

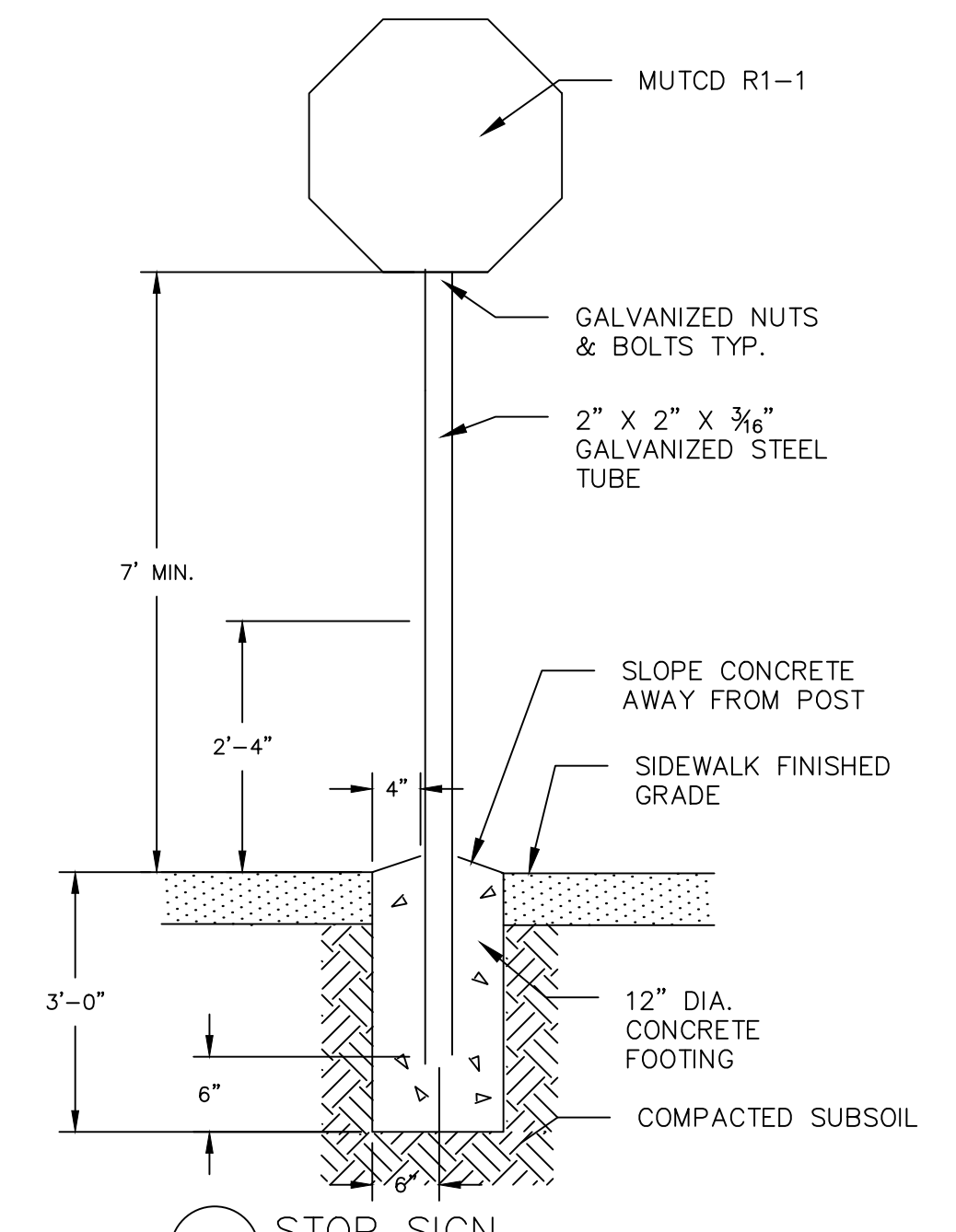


**4 ACCESSIBLE RAMPS**  
SCALE: NOT TO SCALE

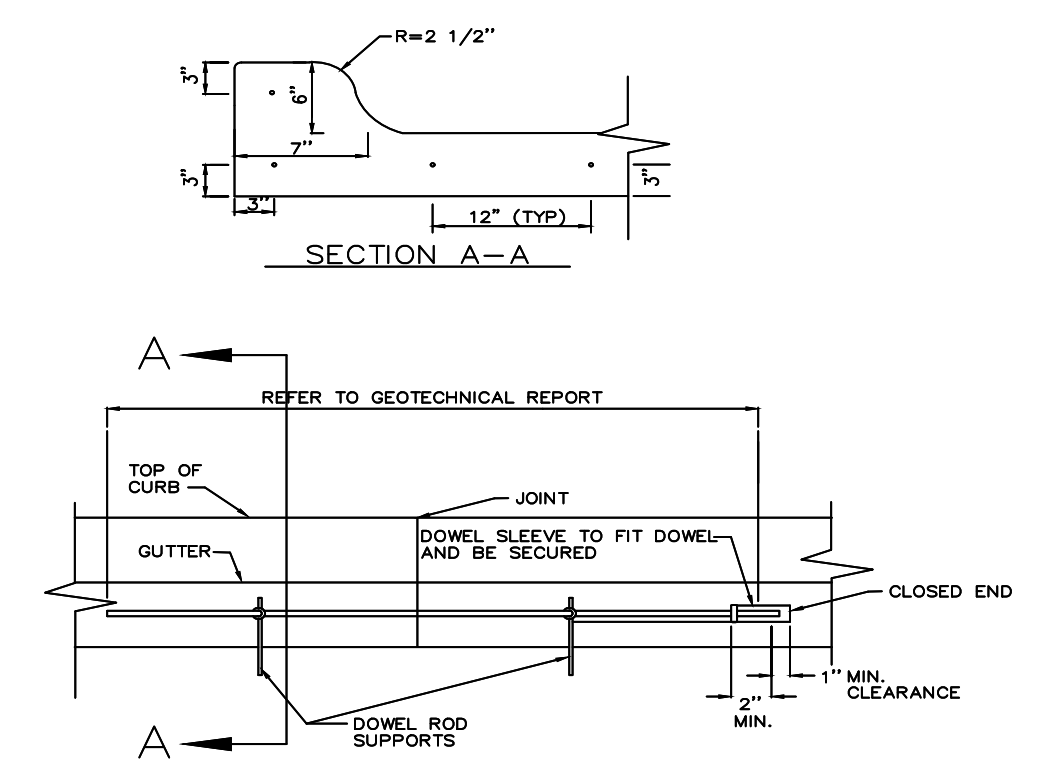


- NOTES:
- 1) 12" COLORED CONCRETE STEP PATH SHALL BE DOWELED INTO EXISTING CURB AT 18" ON CENTER.
  - 2) COLORED CONCRETE STEP PATH TO BE REINFORCED WITH #4 REBAR PLACED 18" ON CENTER EACH WAY.
  - 3) COLORED CONCRETE TENT TO BE APPROVED BY BUC-EE'S PRIOR TO PLACEMENT.
  - 4) PVC WEEP-HOLE PIPING IS TO BE CUT FLUSH WITH EXISTING FACE-OF-CURB.
  - 5) WEEP-HOLES SHALL NOT BE PLACED AT JOINT LOCATIONS.
  - 6) PLANTING BED SHALL BE SLOPED TO CURB AT 1% MINIMUM SLOPE OR AS SPECIFIED ON THE GRADING PLAN.
  - 7) AN ADDITIONAL WEEP HOLE TO BE LOCATED AT LOWEST ELEVATION OF LANDSCAPE ISLAND.

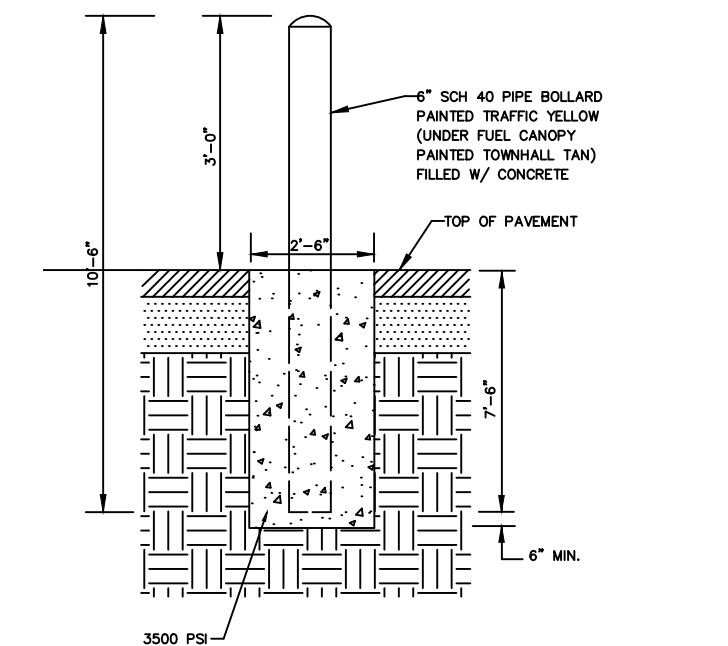
**5 LANDSCAPE AREAS - TYPE A**  
SCALE: NOT TO SCALE



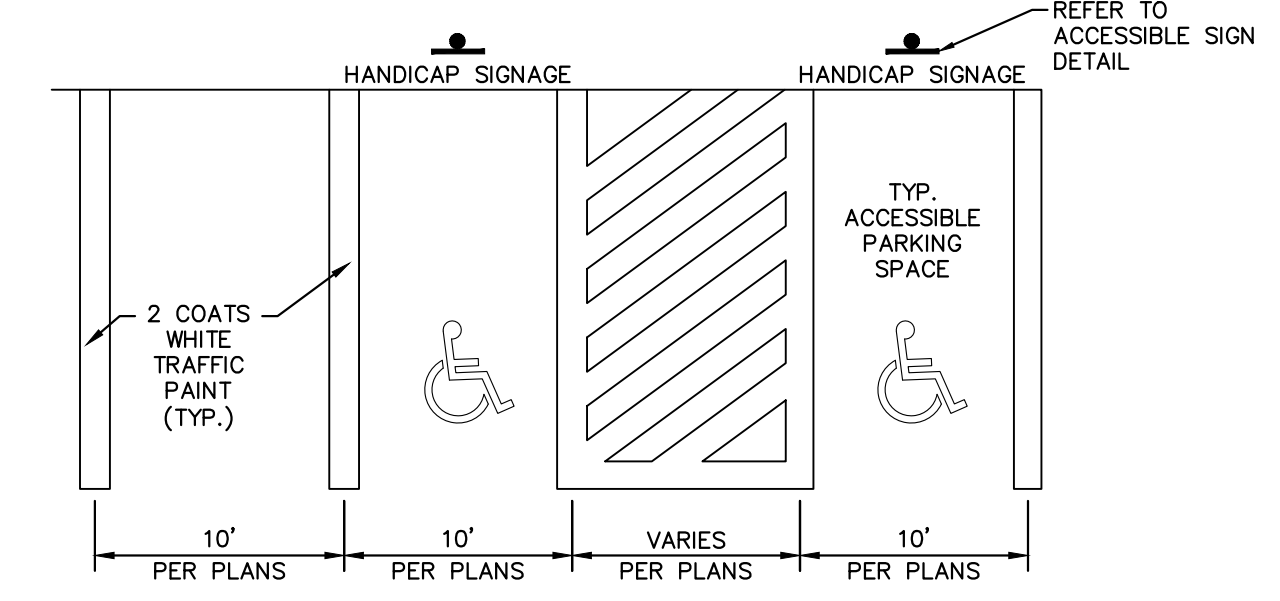
**6 STOP SIGN**  
SCALE: NOT TO SCALE



**7 CURB JOINT DOWEL DETAIL**  
SCALE: NOT TO SCALE

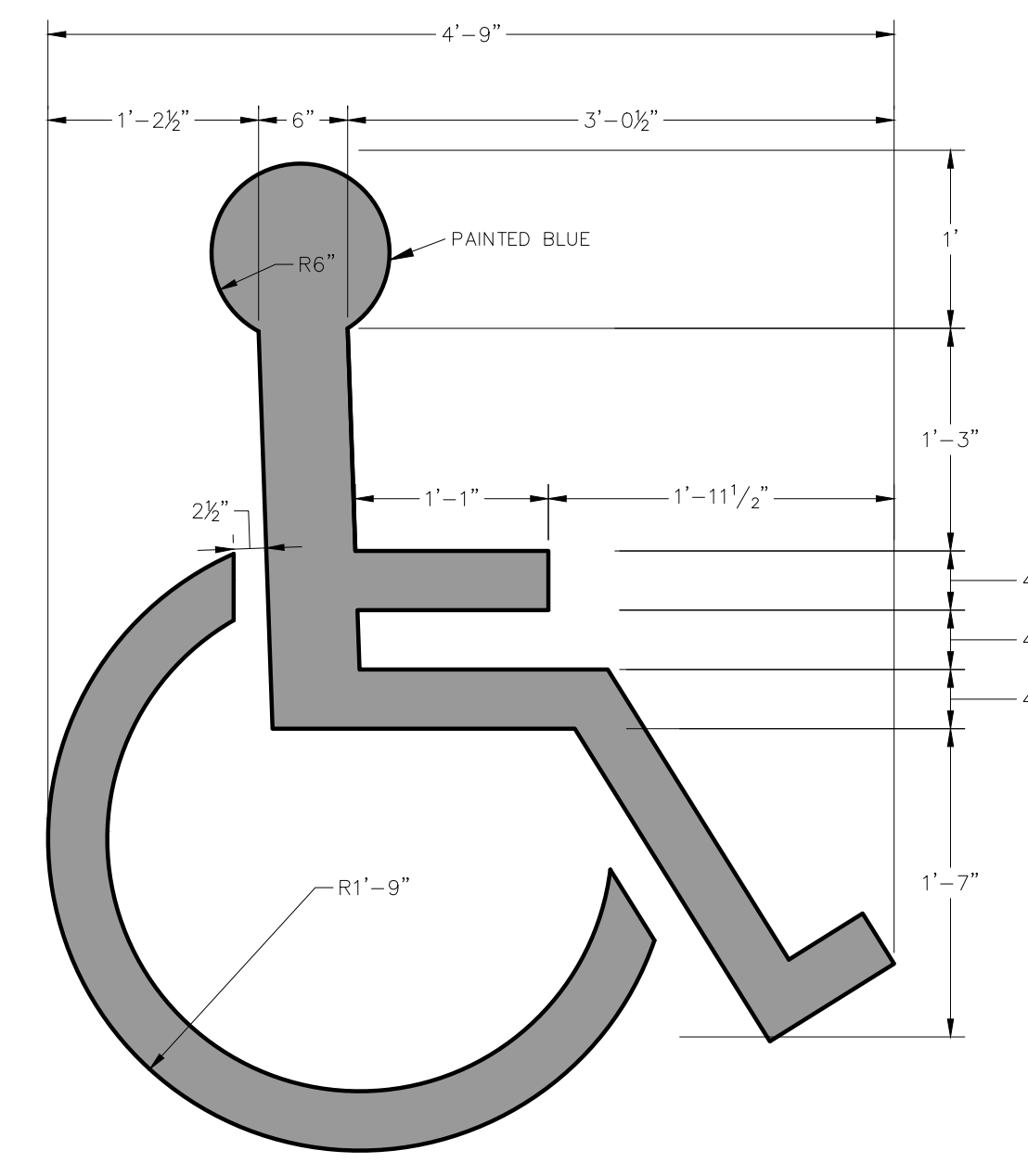


**8 PIPE BOLLARD PAVED AREAS**  
SCALE: NOT TO SCALE

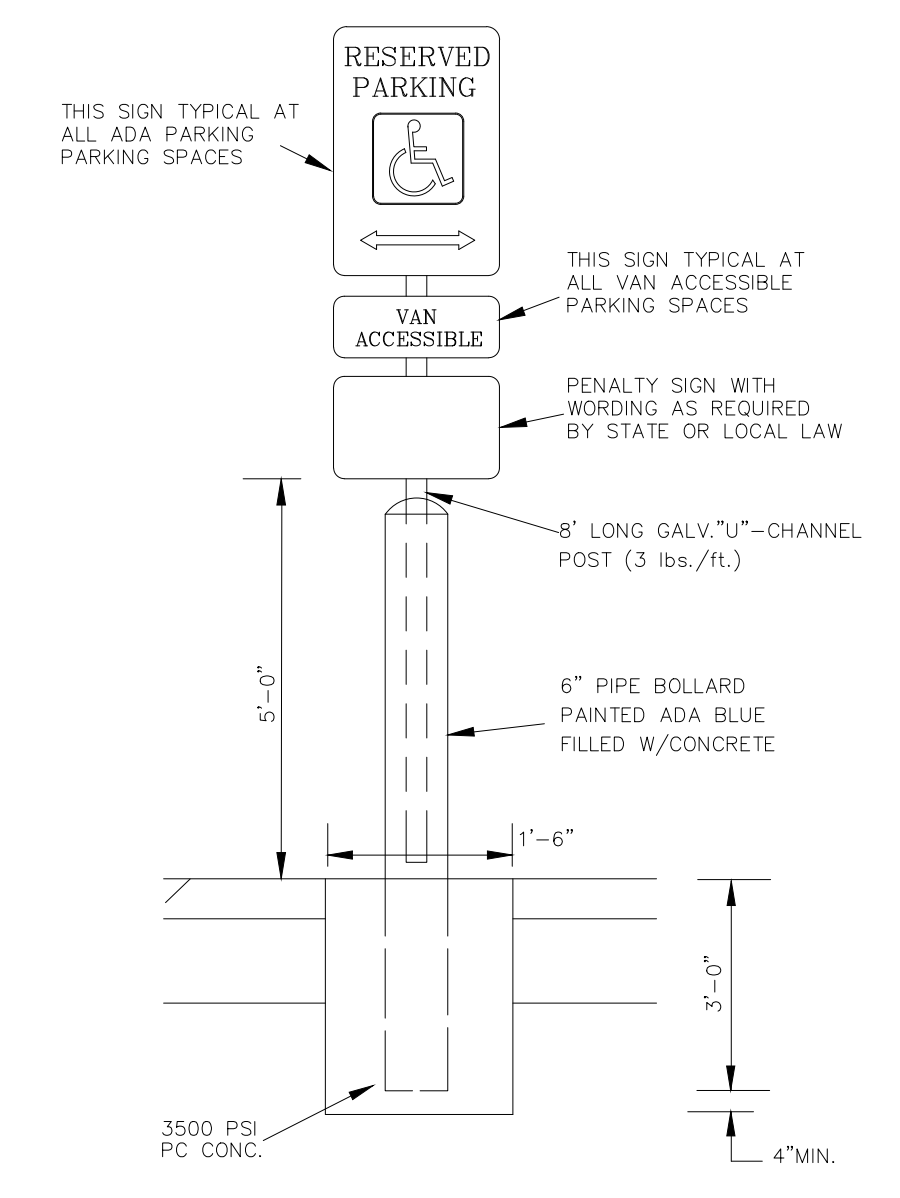


- NOTES:
1. SEE SITE PLAN FOR PARKING DIMENSIONS AND LAYOUT
  2. DIMENSIONS SHOWN ARE PER THE PLANS; REFER TO SITE PLAN SHEETS FOR ADDITIONAL INFORMATION
  3. ALL STRIPING TO CONFORM TO THE APPLICABLE LOCAL AND FEDERAL CODES
  4. SIDEWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
  5. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
  6. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ANY DIRECTION.
  7. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ANY DIRECTION.

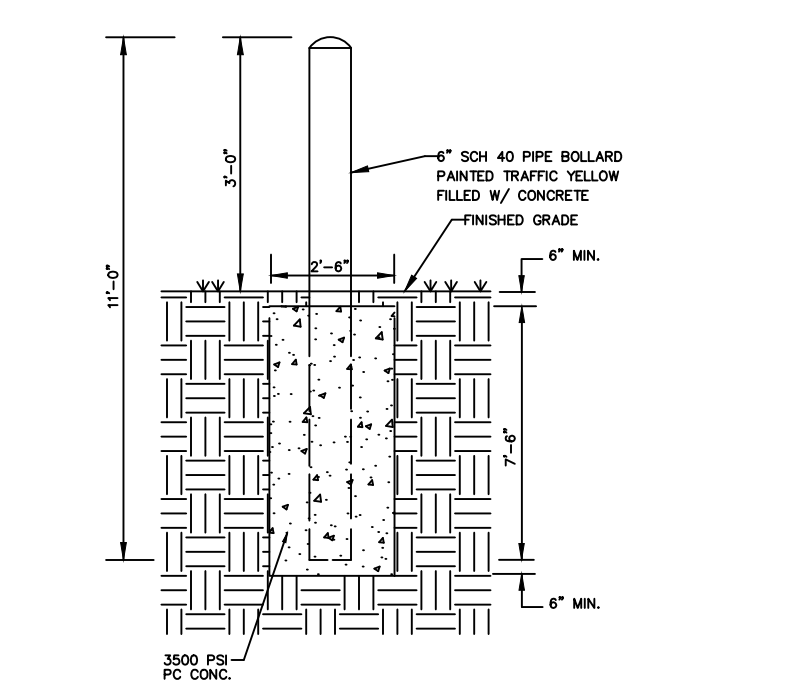
**9 ACCESSIBLE PARKING AREAS**  
SCALE: NOT TO SCALE



**10 ADA PARKING SPACE SYMBOL**  
SCALE: NOT TO SCALE



**11 ADA PARKING SPACE SIGN**  
SCALE: NOT TO SCALE



**12 PIPE BOLLARD UNPAVED AREAS**  
SCALE: NOT TO SCALE

NO.	REVISIONS	DATE	BY
03	REVISED PER 3RD TRC COMMENTS	10/31/23	PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23	WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23	WTL
00	INITIAL SUBMISSION	04/21/23	WTL

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM #0102

**NOT FOR CONSTRUCTION**

PRELIMINARY

10/31/2023

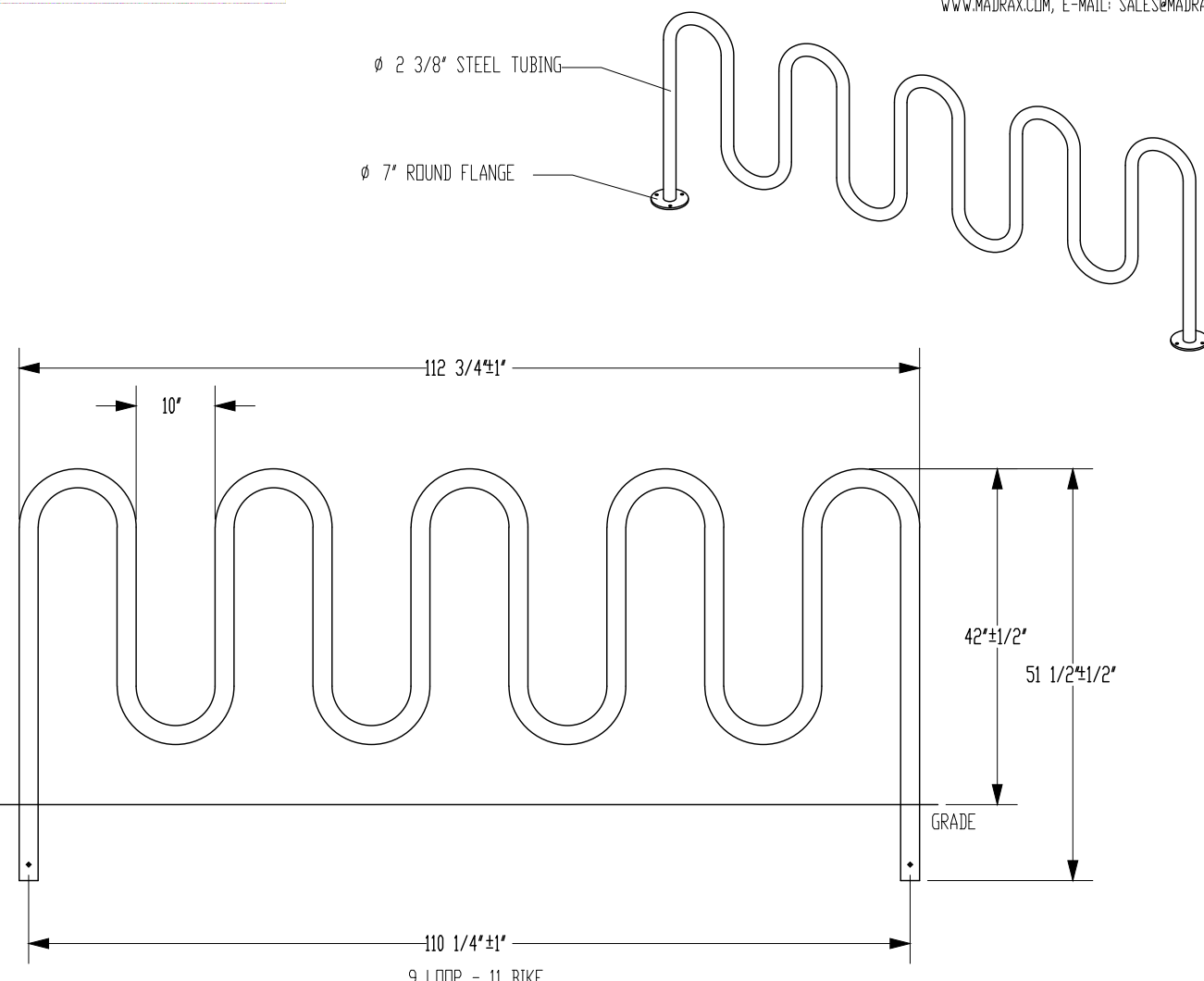
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
013284018	10/31/2023	AS SHOWN	WTL	PY	SMW

**BUC-EE'S MEBANE**

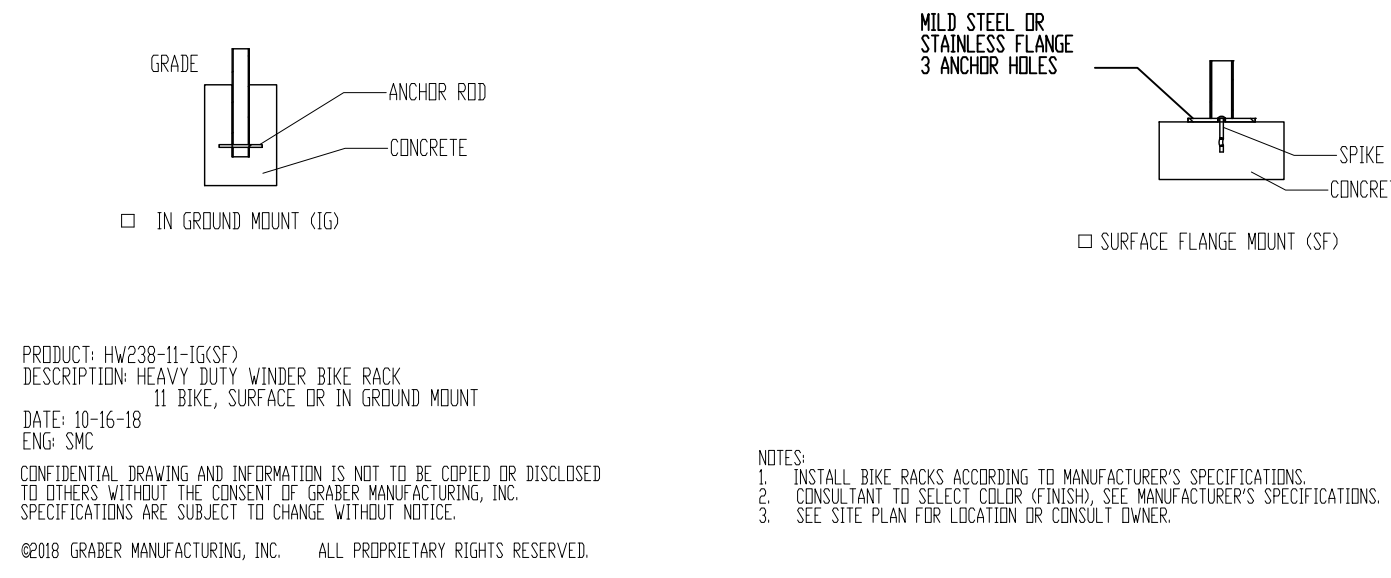
PREPARED FOR  
**BUC-EE'S LTD.**

MEBANE, NC

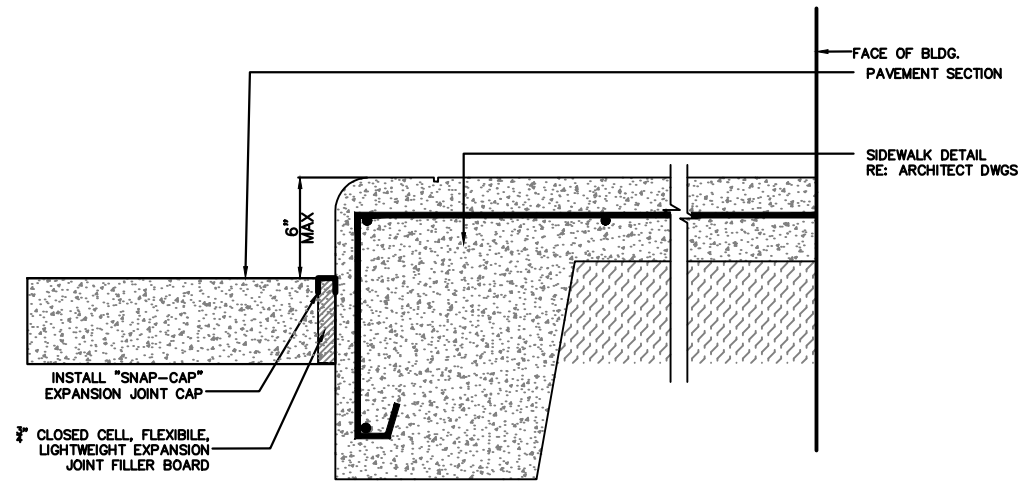
SHEET NUMBER  
**C600**



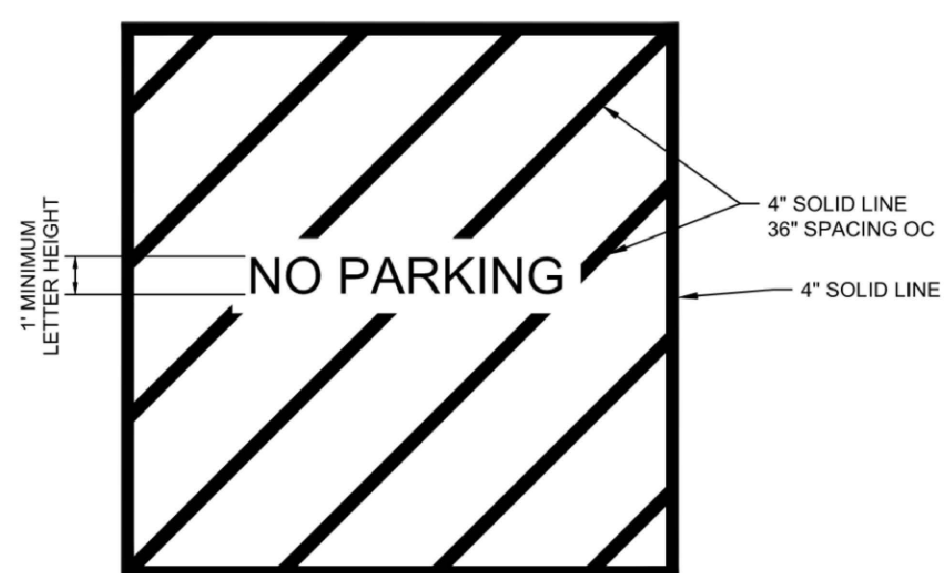
13 BIKE RACK  
SCALE: NOT TO SCALE



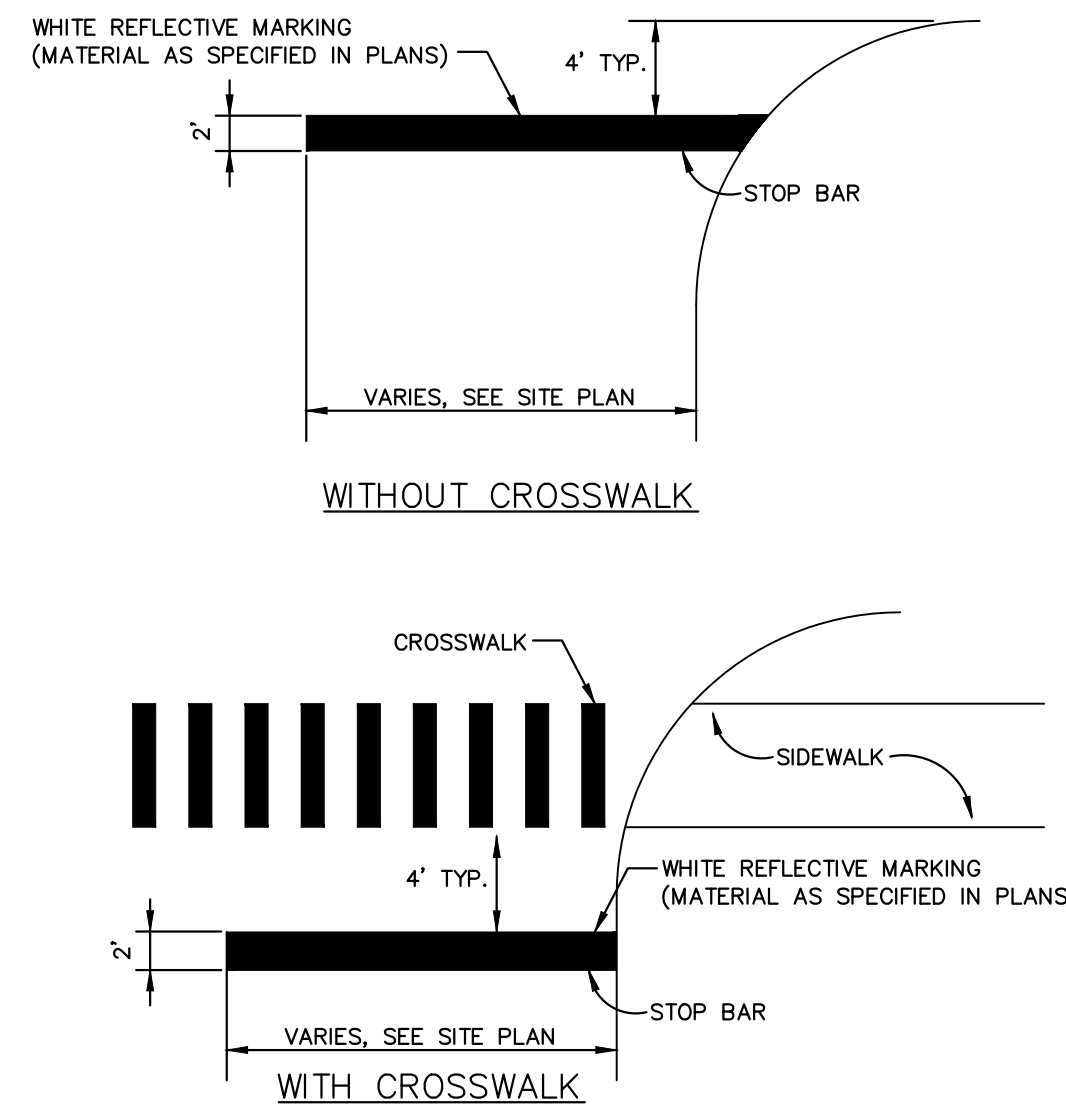
17 HEAVY DUTY REMOVABLE PARKING POST  
SCALE: NOT TO SCALE



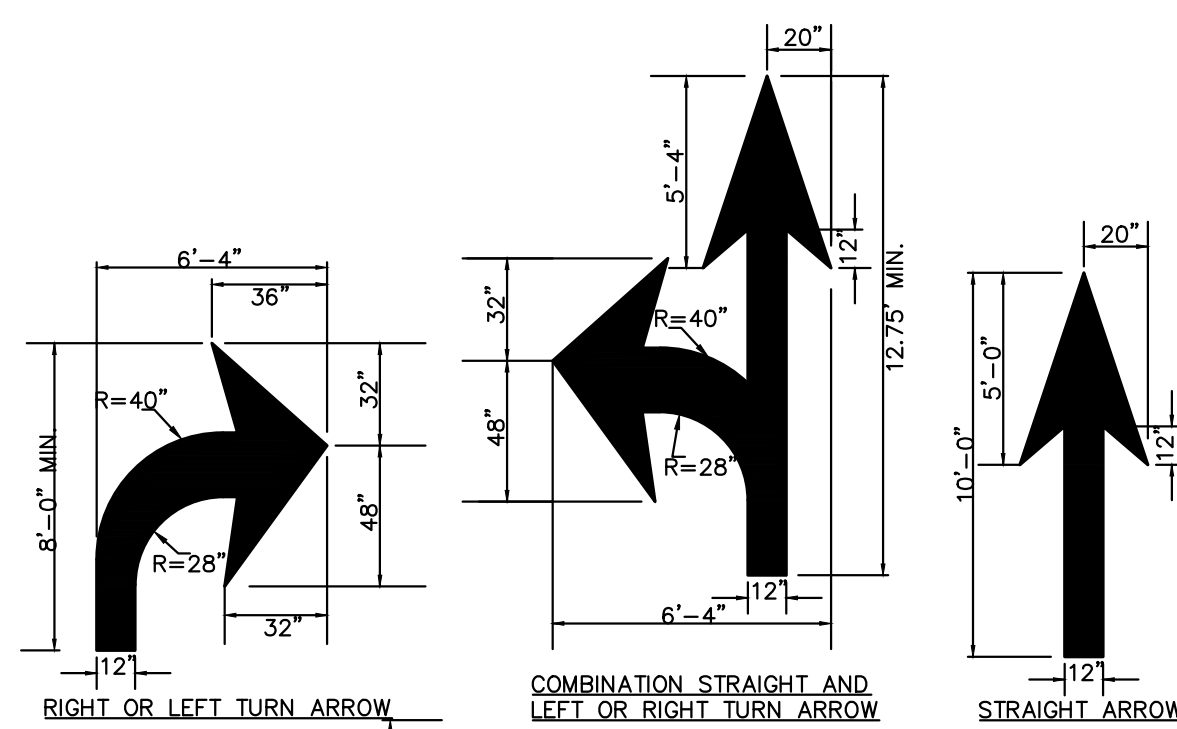
20 SIDEWALK EDGE DETAIL  
SCALE: NOT TO SCALE



22 STRIPING DETAIL  
SCALE: NOT TO SCALE



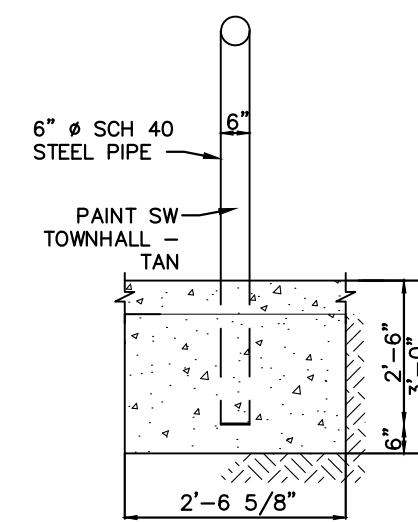
14 STOP BAR DETAIL  
SCALE: NOT TO SCALE



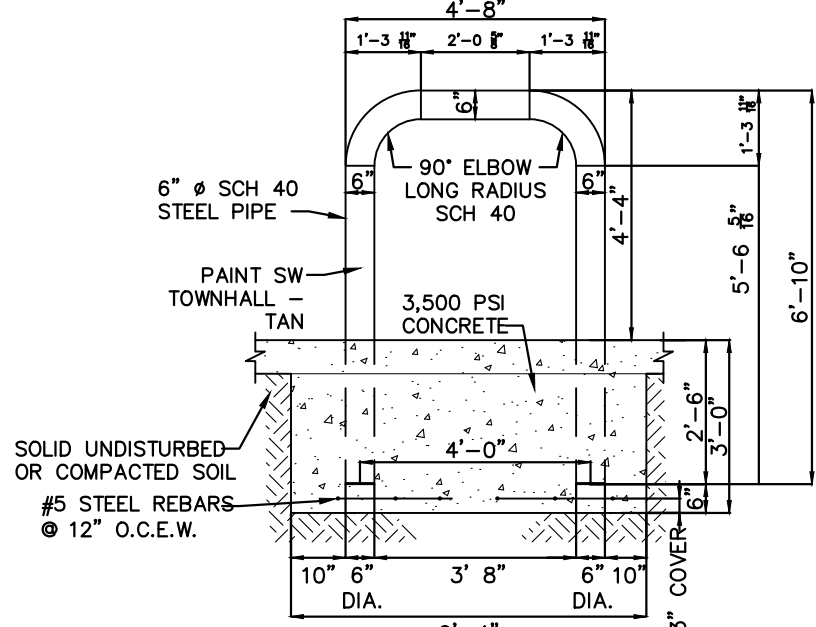
16 PAVEMENT ARROWS  
SCALE: NOT TO SCALE



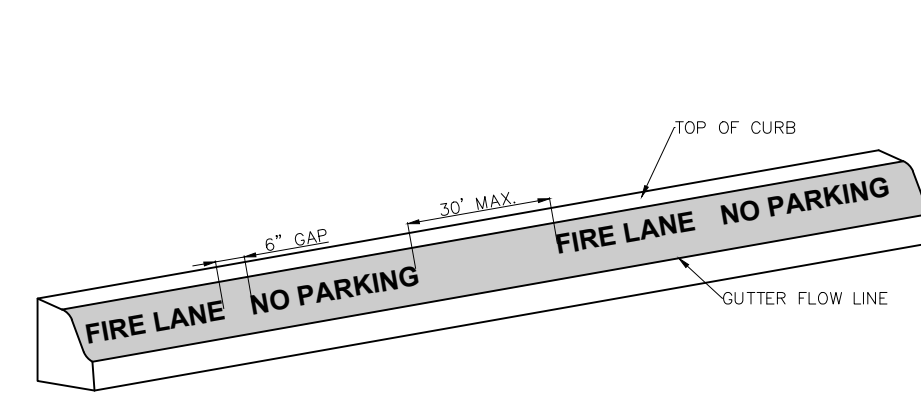
18 "TO INTERSTATE" MARKINGS  
SCALE: NOT TO SCALE



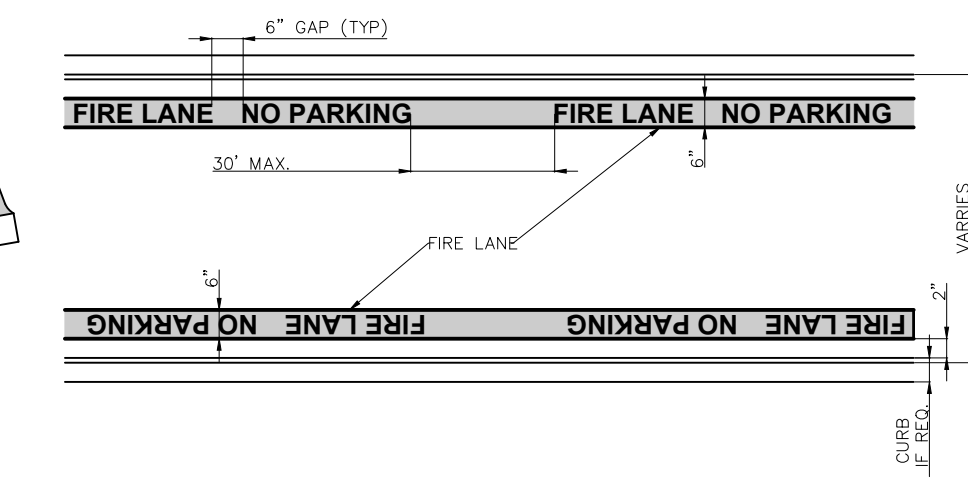
21 U-SHAPED PIPE BOLLARD - END VIEW CUT  
SCALE: NOT TO SCALE



23 U-SHAPED PIPE BOLLARD - FRONT VIEW  
SCALE: NOT TO SCALE

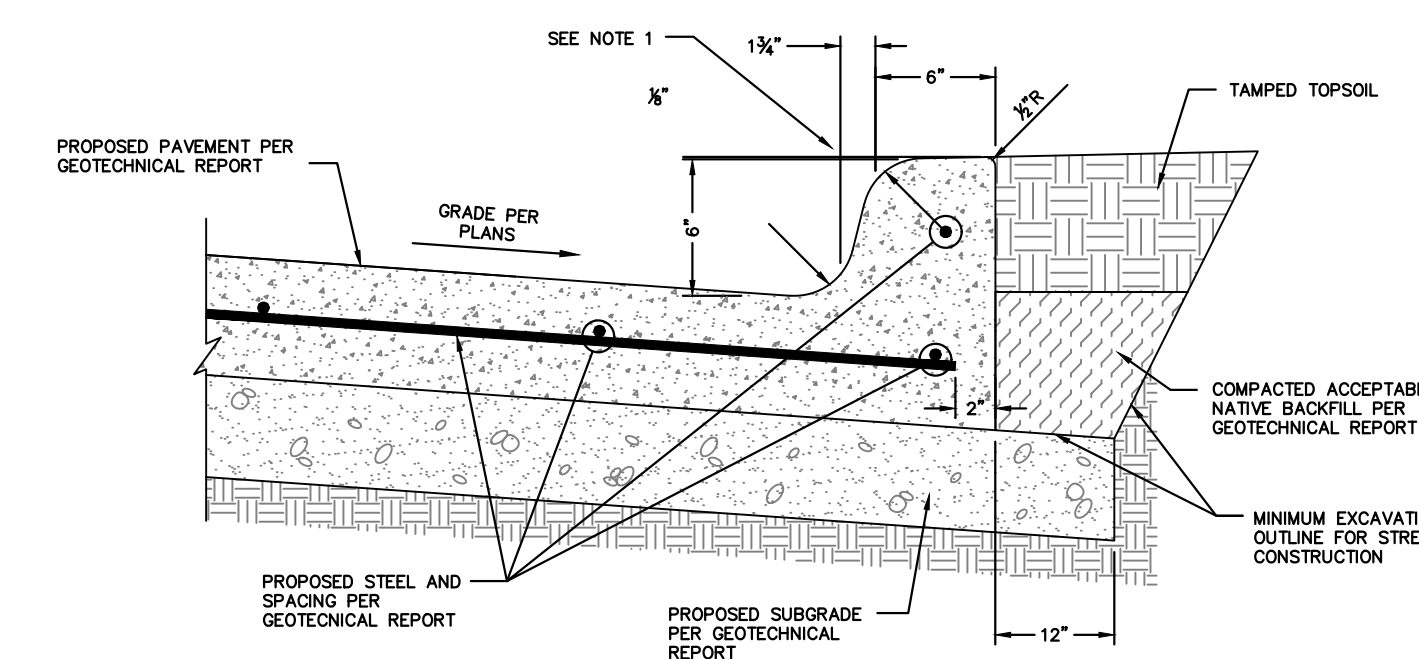


15 FIRE LANE STRIPING DETAIL  
SCALE: NOT TO SCALE



19 BUC-EE'S MONOLITHIC CURB DETAIL  
SCALE: NOT TO SCALE

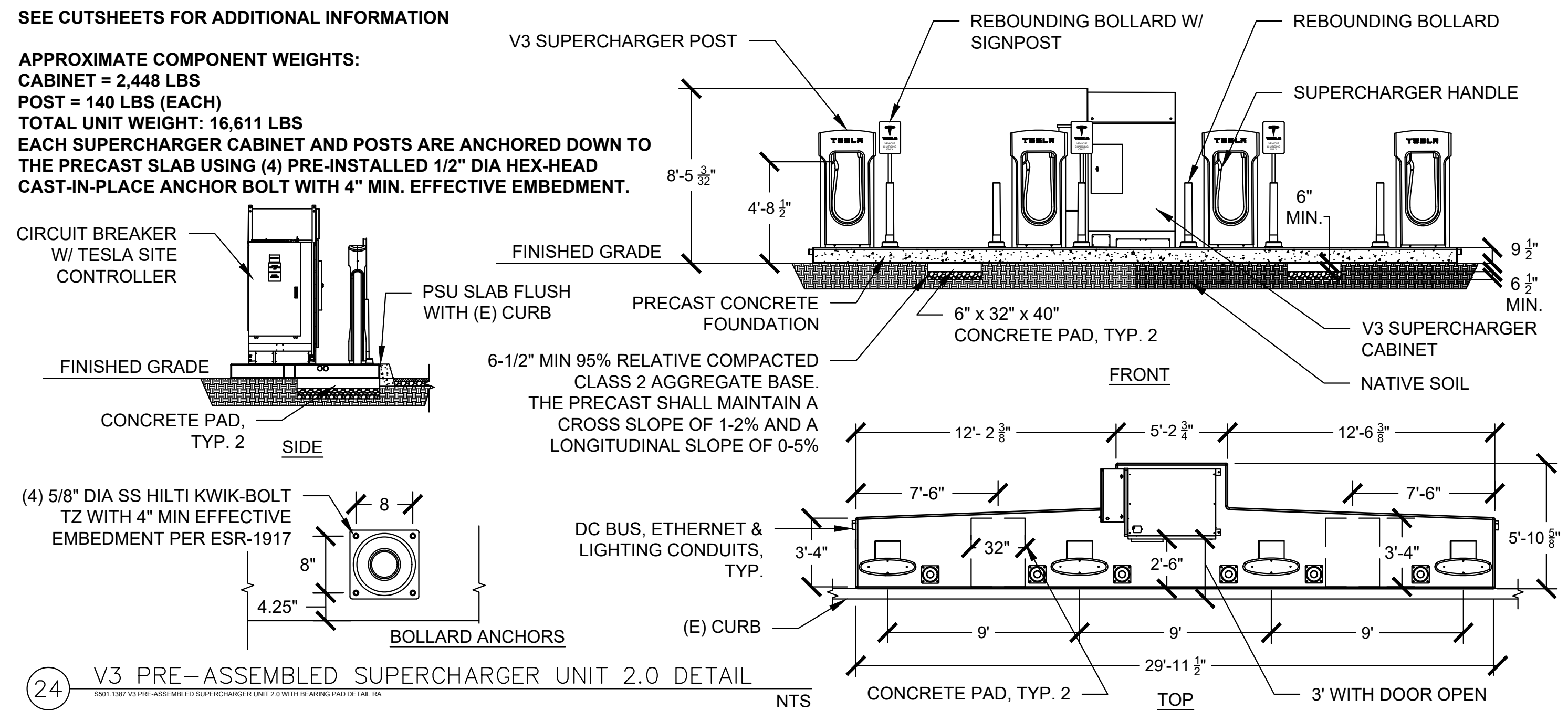
- GENERAL NOTE:**
- STRIPING TO BE DONE IN ACCORDANCE WITH CITY STANDARDS.
  - STRIPING DETAIL NOTES:
    - STRIPES SHALL BE SIX (6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
    - COLOR SHALL BE "TRAFFIC RED" GULDEN NO. 63251 OR EQUAL.
    - LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
    - COLOR SHALL BE "TRAFFIC WHITE" GULDEN NO. 563245 OR EQUAL.
    - STRIPES MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
    - LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.
    - WORDING OF FIRE LANE STRIPING TO BE ORIENTED SO THAT THE TEXT CAN BE READ FROM INSIDE THE FIRE LANE.



- NOTES:**
- BUC-EE'S APPROVAL REQUIRED FOR USE OF CURB MALE WITH DIMENSIONS THAT VARY FROM DETAIL.
  - MATCH PAVEMENT SAWED JOINTS FOR SAWED JOINTS IN CURB.
  - EXPANSION CURB JOINT BOOT AT CURB RADIUS MIDPOINTS.
  - EXPANSION CURB JOINT BOOT AT ALL PAVEMENT CONTROL JOINT LOCATIONS IN CURB.
  - ALL EXPANSION JOINTS SHALL BE SEALED WITH A POLYURETHANE SEALANT ON THE FRONT, TOP AND BACK EXPOSED SURFACE.

**SEE CUTSHEETS FOR ADDITIONAL INFORMATION**

**APPROXIMATE COMPONENT WEIGHTS:**  
CABINET = 2,448 LBS  
POST = 140 LBS (EACH)  
TOTAL UNIT WEIGHT: 16,611 LBS  
EACH SUPERCHARGER CABINET AND POSTS ARE ANCHORED DOWN TO THE PRECAST SLAB USING (4) PRE-INSTALLED 1/2" DIA HEX-HEAD CAST-IN-PLACE ANCHOR BOLT WITH 4" MIN. EFFECTIVE EMBEDMENT.



24 V3 PRE-ASSEMBLED SUPERCHARGER UNIT 2.0 DETAIL  
SCALE: NOT TO SCALE

NO.	REVISIONS	DATE
03	REVISED PER 3RD TRC COMMENTS	10/31/23 PY
02	REVISED PER 2ND TRC COMMENTS	09/29/23 WTL
01	REVISED PER 1ST TRC COMMENTS	08/29/23 WTL
00	INITIAL SUBMISSION	04/21/23 WTL

**Kimley»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 MORRIS STREET, SUITE 200, DURHAM, NC 27701  
PHONE: (919) 682-3583 WWW.KIMLEY-HORN.COM  
NC FIRM #0102



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
013284018	10/31/2023	AS SHOWN	WTL	PY	SMW

**SITE DETAILS**

**BUC-EE'S MEBANE**  
PREPARED FOR  
BUC-EE'S LTD.









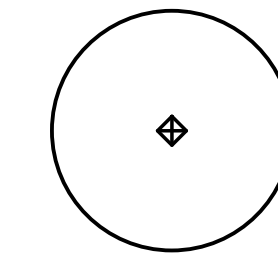




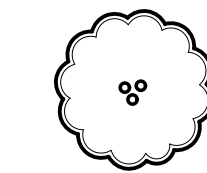
MATCHLINE - SEE L101

INTERSTATE  
(VARIABLE WIDTH CONTROLLED)

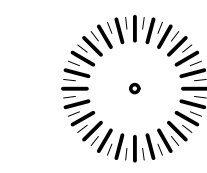
TREE KEY:



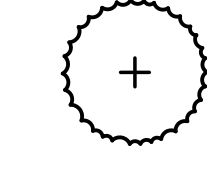
PIN OAK, QUERCUS PALUSTRIS



FLOWERING DOGWOOD, CORNUS FLORIDA



EASTERN RED CEDAR, JUNIPERUS VIRGINIANA



WAX MYRTLE, MYRICA CERIFERA



107 Leland Street, Suite 2  
Austin, TX 78704

P.O. BOX 40792  
Austin, TX 78704

Phone: (512)388-4115



PROFESSIONAL SEAL:



DATE SEALED: 09/28/2023

PROJECT NAME:

BUC-EE'S  
MEBANE

OWNER:

BUC-EE'S LTD.

PROJECT LOCATION:

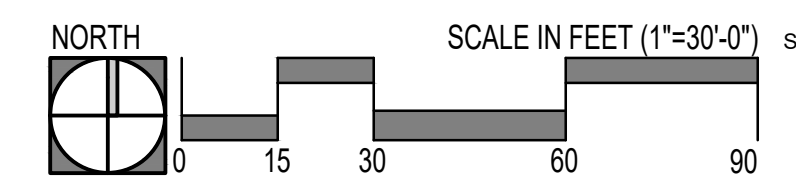
MEBANE,  
NORTH  
CAROLINA

MATCHLINE - SEE L106

PRESERVE UNDISTURBED  
AREAS

REVISIONS:


PROJECT #: 001-23-04  
DATE PRINTED: 09/28/2023  
DRAWING TITLE:  
LANDSCAPE  
PLAN

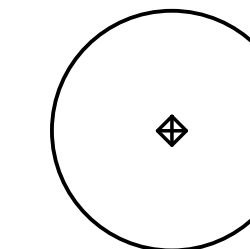


SHEET NO.:  
**L105**

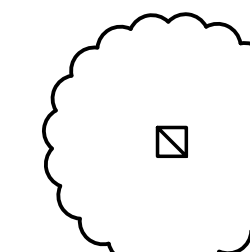
MATCHLINE - SEE L109

MATCHLINE - SEE L102

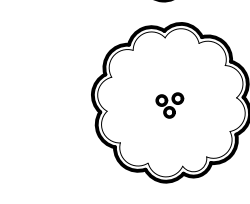
TREE KEY:



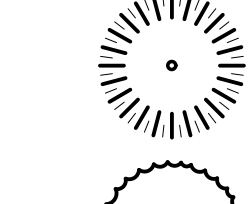
PIN OAK, QUERCUS PALUSTRIS



RED MAPLE, ACER RUBRUM



FLOWERING DOGWOOD, CORNUS FLORIDA



EASTERN RED CEDAR, JUNIPERUS VIRGINIANA



WAX MYRTLE, MYRICA CERIFERA



107 Leland Street, Suite 2  
Austin, TX 78704  
P.O. BOX 40792  
Austin, TX 78704  
Phone: (512)388-4115



DATE SEALED: 09/28/2023

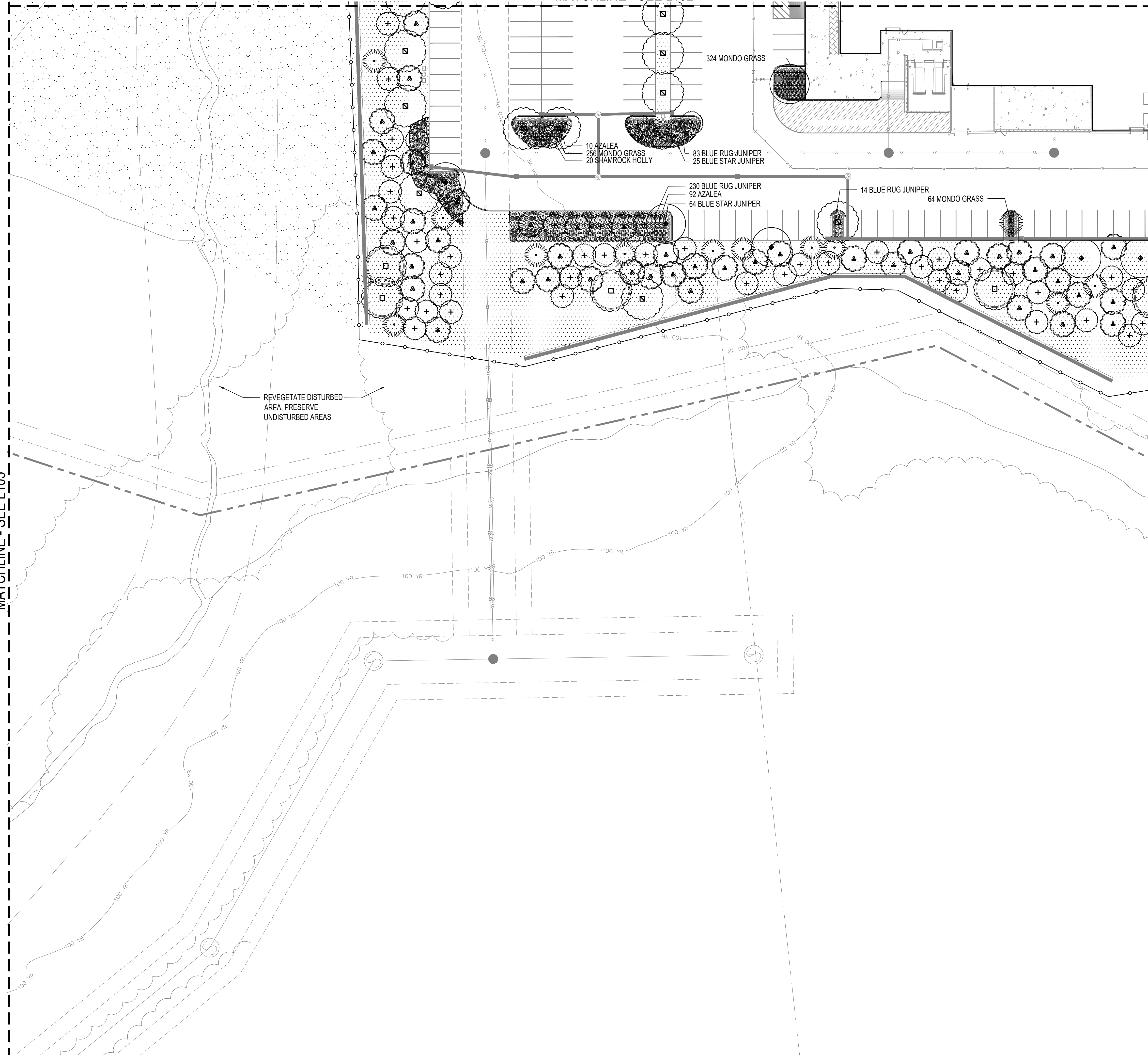
PROJECT NAME:  
BUC-EE'S  
MEBANE

OWNER:  
BUC-EE'S LTD.

PROJECT LOCATION:  
MEBANE,  
NORTH  
CAROLINA

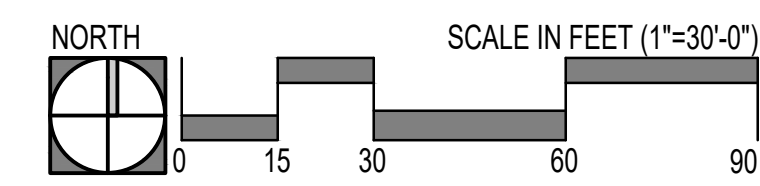
MATCHLINE - SEE L105

MATCHLINE - SEE L107



REVEGETATE DISTURBED  
AREA, PRESERVE  
UNDISTURBED AREAS

MATCHLINE - SEE L110

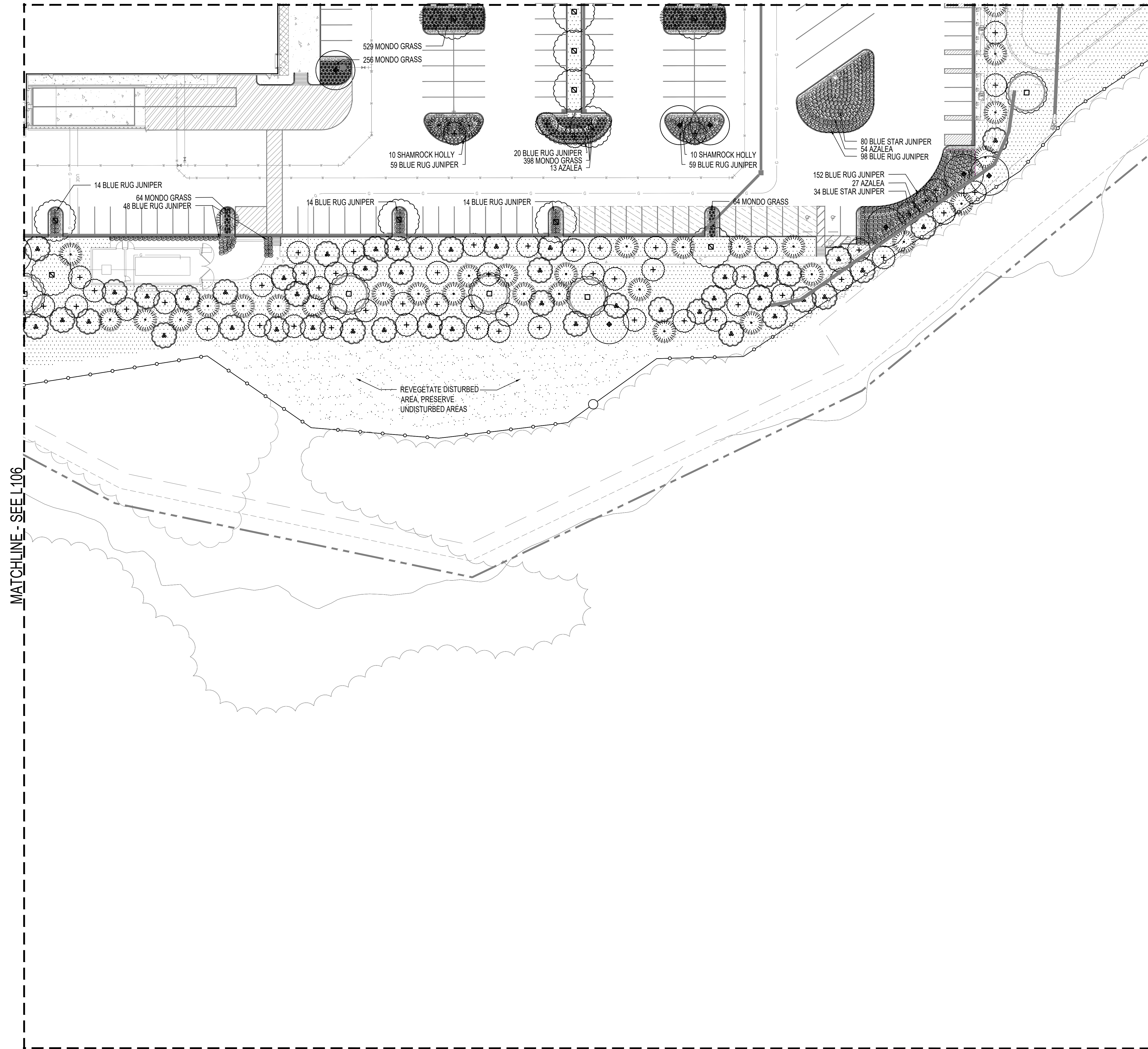


REVISIONS:

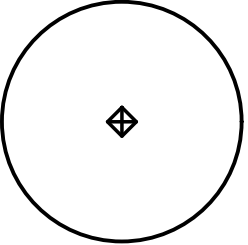
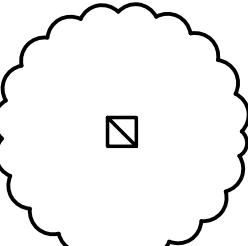
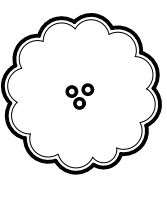
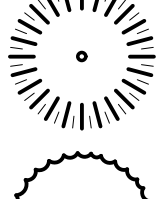
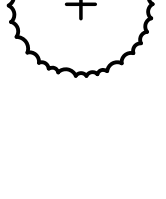

PROJECT #: 001-23-04  
DATE PRINTED: 09/28/2023  
DRAWING TITLE:  
LANDSCAPE  
PLAN

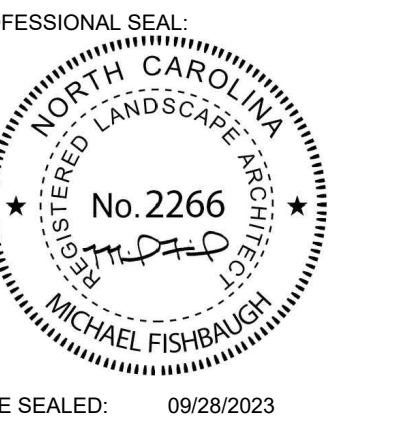
SHEET NO.:  
**L106**

MATCHLINE - SEE L103



TREE KEY:

-  PIN OAK, QUERCUS PALUSTRIS
-  RED MAPLE, ACER RUBRUM
-  FLOWERING DOGWOOD, CORNUS FLORIDA
-  EASTERN RED CEDAR, JUNIPERUS VIRGINIANA
-  WAX MYRTLE, MYRICA CERIFERA



PROJECT NAME:  
**BUC-EE'S  
MEBANE**

OWNER:  
**BUC-EE'S LTD.**

PROJECT LOCATION:  
**MEBANE,  
NORTH  
CAROLINA**

REVISIONS:


PROJECT #: 001-23-04  
DATE PRINTED: 09/28/2023  
DRAWING TITLE:  
**LANDSCAPE  
PLAN**

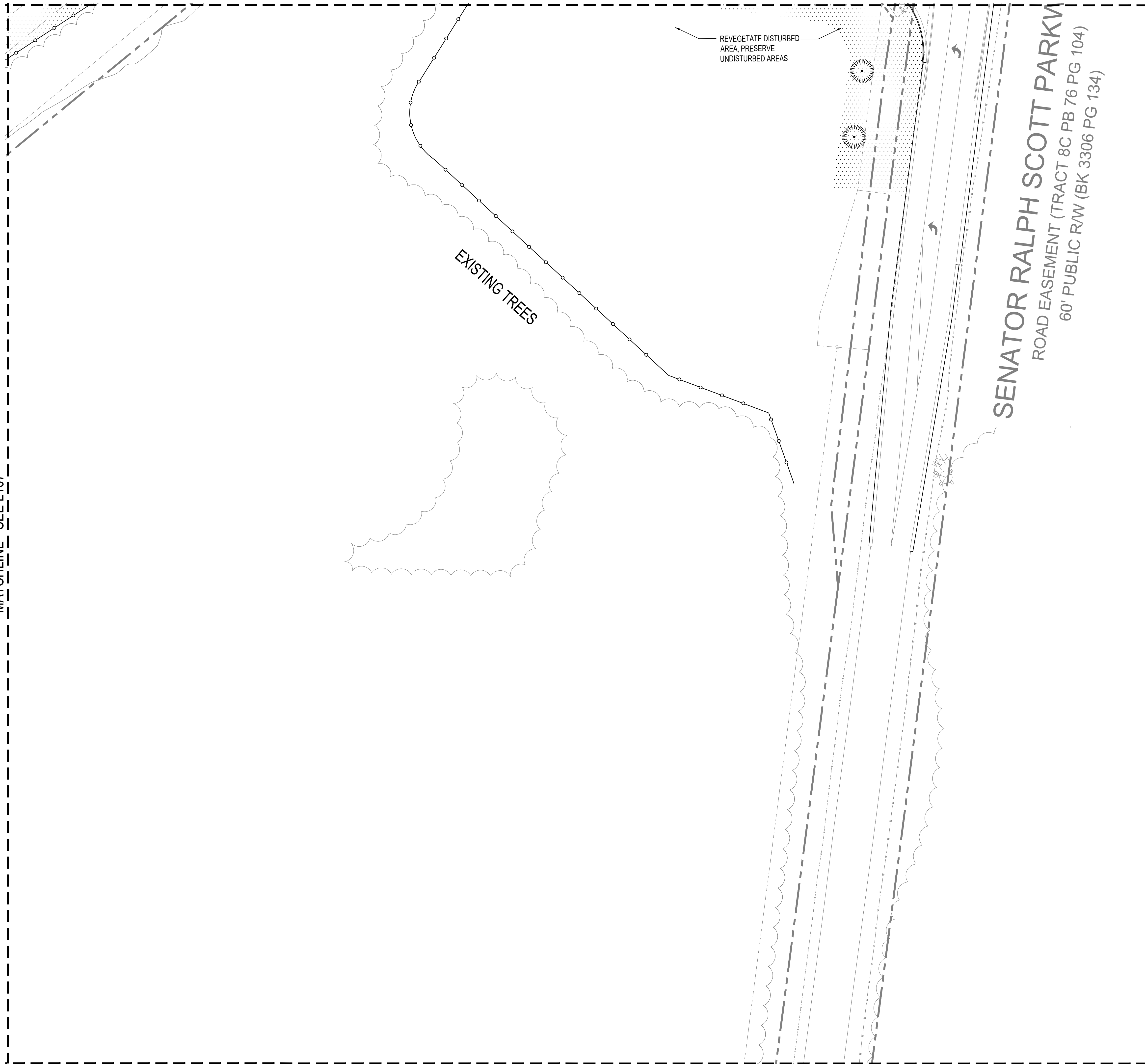
MATCHLINE - SEE L106

MATCHLINE - SEE L108

MATCHLINE - SEE L111

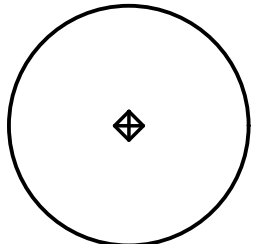
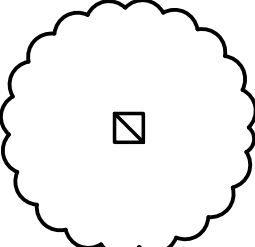
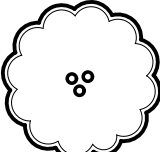
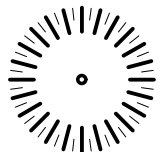
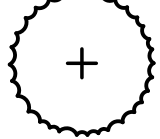
MATCHLINE - SEE L104

MATCHLINE - SEE L107



MATCHLINE - SEE L112

TREE KEY:

-  PIN OAK, QUERCUS PALUSTRIS
-  RED MAPLE, ACER RUBRUM
-  FLOWERING DOGWOOD, CORNUS FLORIDA
-  EASTERN RED CEDAR, JUNIPERUS VIRGINIANA
-  WAX MYRTLE, MYRICA CERIFERA



107 Leland Street, Suite 2  
Austin, TX 78704  
P.O. BOX 40792  
Austin, TX 78704  
Phone: (512)388-4115



PROFESSIONAL SEAL:  
NORTH CAROLINA  
REGISTERED LANDSCAPE ARCHITECT  
No. 2266  
MICHAEL FISHBAUGH  
DATE SEALED: 09/28/2023

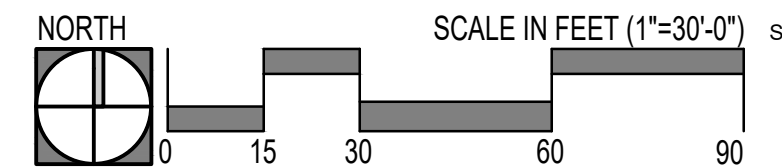
PROJECT NAME:  
**BUC-EE'S  
MEBANE**

OWNER:  
**BUC-EE'S LTD.**

PROJECT LOCATION:  
**MEBANE,  
NORTH  
CAROLINA**

REVISIONS:


PROJECT #: 001-23-04  
DATE PRINTED: 09/28/2023  
DRAWING TITLE:  
**LANDSCAPE  
PLAN**

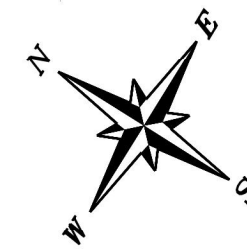


SHEET NO.:  
**L108**

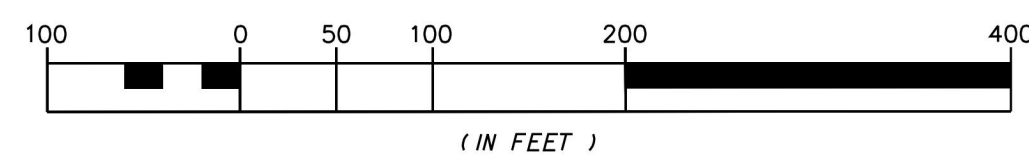


**BUC-EE'S MEBANE  
OFFSITE IMPROVEMENTS  
NCDOT ACCESS ALT.**

MEBANE, NORTH CAROLINA  
AUGUST 9, 2023



GRAPHIC SCALE



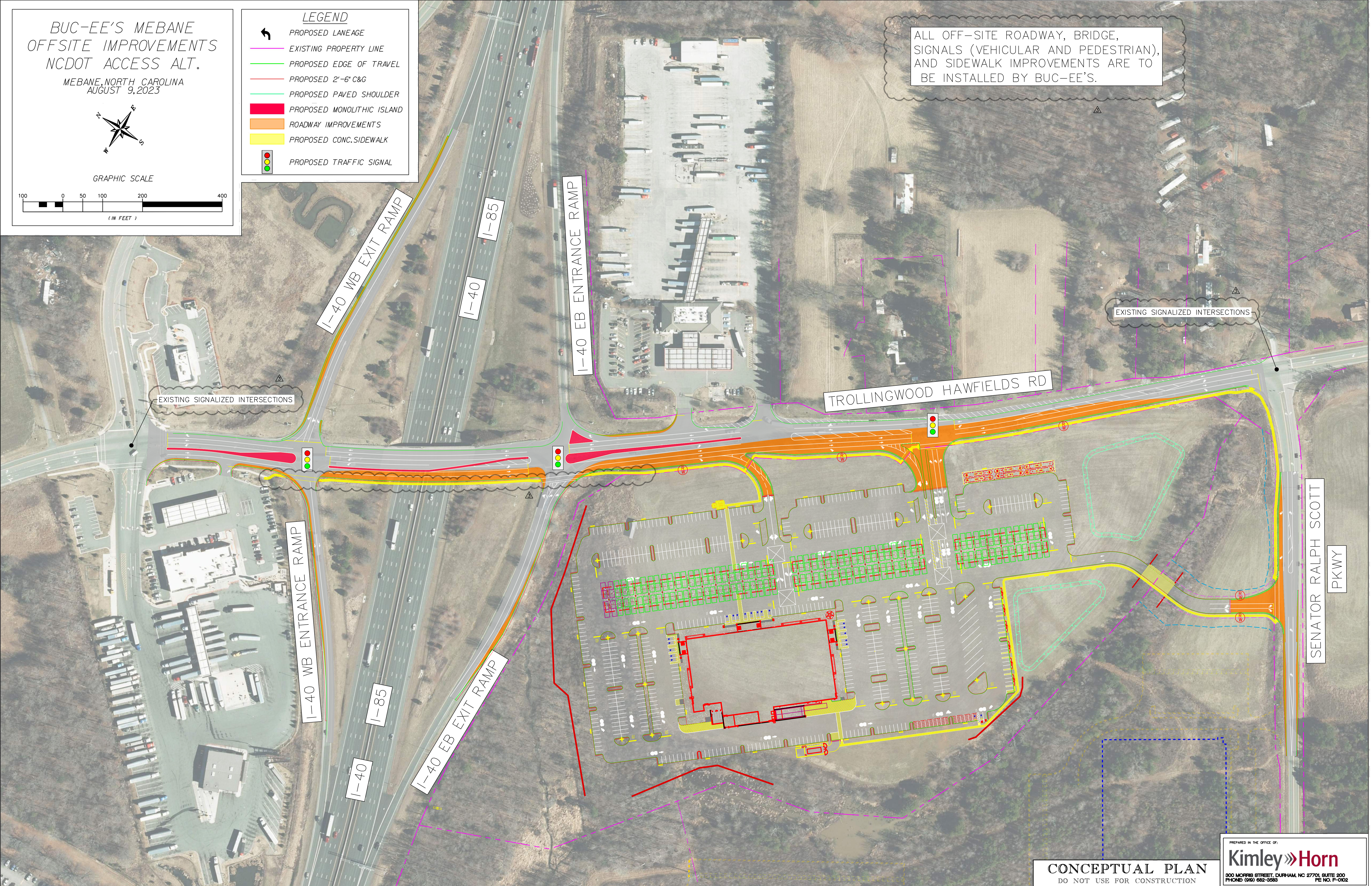
**LEGEND**

- PROPOSED LANEAGE
- EXISTING PROPERTY LINE
- PROPOSED EDGE OF TRAVEL
- PROPOSED 2'-6" C&G
- PROPOSED PAVED SHOULDER
- PROPOSED MONOLITHIC ISLAND
- ROADWAY IMPROVEMENTS
- PROPOSED CONC. SIDEWALK
- PROPOSED TRAFFIC SIGNAL

ALL OFF-SITE ROADWAY, BRIDGE, SIGNALS (VEHICULAR AND PEDESTRIAN), AND SIDEWALK IMPROVEMENTS ARE TO BE INSTALLED BY BUC-EE'S.

EXISTING SIGNALIZED INTERSECTIONS

EXISTING SIGNALIZED INTERSECTIONS



**CONCEPTUAL PLAN**  
DO NOT USE FOR CONSTRUCTION

PREPARED IN THE OFFICE OF:  
**Kimley»Horn**  
300 MORRIS STREET, DURHAM, NC 27701, SUITE 200  
PHONE: (919) 682-3583 FE NO. F-0102